

2023 SRHOA AGM Updates

HOA

Pathways & Landscaping

There were many comments regarding icy sidewalks in the winter, cracked sidewalks and community landscaping. Once the area is handed over to the Town of Cochrane, the Town is responsible to maintain the landscaping and pathways throughout the community. Please review the [HOA obligations map](#) on the SRHOA website which outlines what the Association is responsible for. The Landscaping line on the budget is primarily for entrance features and does not include the landscaping around the pond.

Fencing

The Board of Directors are aware of leaning fences along Sunset Road. The fences along the South/Southwest side of the road were installed by the Phase 1 developers who are no longer operating. They are now the responsibility of the Phase 1 owners. Those fences that the HOA is responsible for are being investigated, however, the HOA is responsible only for general wear and tear of the fences including painting the public side. Each owner is responsible for major repairs and painting of the fence that faces their property.

Communication

The day-to-day operating of the HOA is managed by Core Real Estate Group who strive to provide communication as outlined in the encumbrance, Bylaws and Articles of Association.

All owners are encouraged to utilize the SRHOA website, www.sunset-ridgehoa.com as this website is kept up to date by Core Real Estate Group. You can also contact Core Real Estate Group at info@coremanagement.ca or 780.651.1577

FINANCIAL

Budget Explanation

There were many questions regarding more information on the budget line items.

Landscaping includes soft landscaping in areas that the HOA is responsible to maintain, re-mulching, fountain expenses and holiday lighting.

IT & Administration includes the website hosting and domain, availability of payment options, Ivrrnet fees and data processing which includes work associated with an annual audit to ensure all owners are accounted for and contributing to the association fees.

As with many HOAs, Landscaping and Administrative costs make up the majority of the fee and the Association is required to maintain Landscaping throughout the community along with sending an Annual Budget and AGM packages. Please review the encumbrance on title, the Articles of Association and the Bylaws for information on the HOA obligations.

Events

For 2023, community events were added to the budget. The Board of Directors will be creating a Resident Gathering Board to organize these events for 2023 and going forward and will consist of at least 1 Resident Director. Previously, events held were organized and paid for by the developer, Melcor, and no costs were borne by the HOA.

Facilities

The funds collected for the temporary rink were not spent and remain in the SRHOA bank account. Due to quotes for the 2021-2022 winter temporary rink returning at much higher rates than anticipated, this was held off. For the 2022-2023 winter, the land that was originally earmarked for a temporary rink was no longer available. Melcor is looking at potential sites for a rink in 2023/2024.

DEVELOPMENT UPDATE

Melcor continues to develop within the community. In 2022, servicing to the Pinnacle area was begun and a portion was completed this year including pathway work. Other than small landscaping work around the Pinnacle area, there will be no significant landscape projects this year.

In 2023, Melcor anticipates one new phase, Stage 3, in the North-East section of the community beginning in July/August. Installation of services will soon begin for a new multi-family site on the East side of the community, Phase 22. The multi-family site will consist of 37 laned townhome units.

Within the newer areas of the community, there will be small surface maintenance work completed, including broken concrete and rehabilitation of concrete prior to transferring maintenance over to the Town of Cochrane in August/September 2023.

The requirement of additional access to the community is triggered after development of Phase 25, anticipated for 2024. The entrance will go north onto highway 22.

The highly anticipated Community Centre will be constructed in Stage 3. Services to the area will begin in 2024/2025, (market dependent). Once the servicing is completed, the site will be shared with a school. Operating costs of the centre will be covered by HOA fees and planning of timing is underway to ensure there are enough residents to remain affordable to the community.

For more information on the development of the Sunset Ridge community, please visit www.liveinsunsetridge.ca/construction

If there are additional questions, please contact inquireyyc@melcor.ca

CONTACT INFORMATION

HOA Inquiries

Core Real Estate Group
780.651.1577
info@coremanagement.ca
Additional information can be found at www.sunset-ridgehoa.com

Town of Cochrane Inquiries

www.cochrane.ca/directory

Parks & Open Space

403.851.2590

[Contact Form](#)

Roads

403.851.2590

[Contact Form](#)




Melcor Inquiries

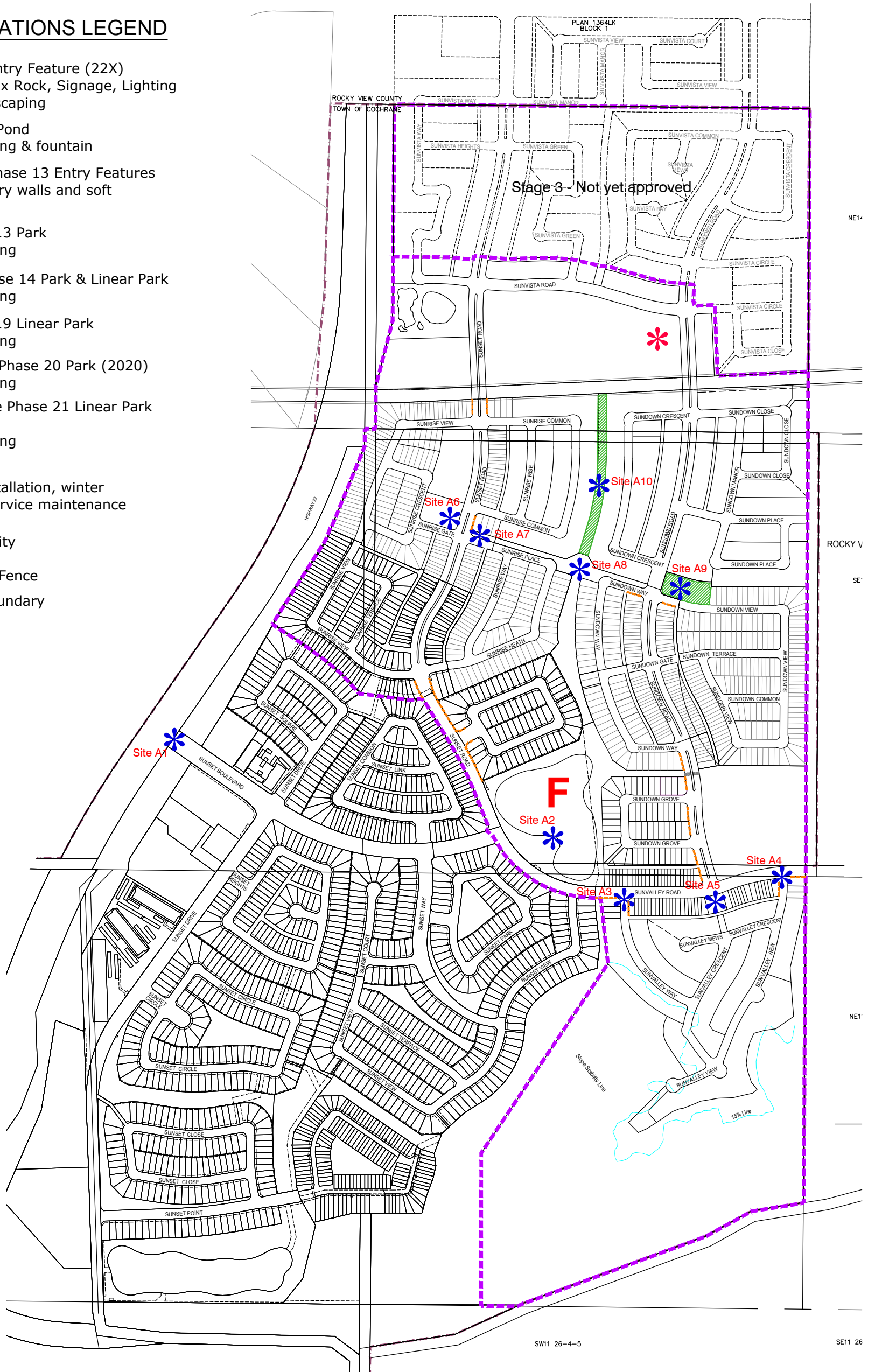
Melcor Developments
403.283.3556
inquireyc@melcor.ca
Additional information can be found at www.liveinsunsetridge.ca

HOA OBLIGATIONS LEGEND

- Site A1 - Main Entry Feature (22X)
 - Includes Faux Rock, Signage, Lighting & Soft Landscaping
- Site A2 - Storm Pond
 - Bollard lighting & fountain
- Site A3 & A4 - Phase 13 Entry Features
 - Includes entry walls and soft landscaping
- Site A5 - Phase 13 Park
 - Bollard lighting
- Site A6/A7 - Phase 14 Park & Linear Park
 - Bollard lighting
- Site A8 - Phase 19 Linear Park
 - Bollard lighting
- Site A9 - Future Phase 20 Park (2020)
 - Bollard lighting
- Site A10 - Future Phase 21 Linear Park (2020)
 - Bollard lighting

- F** Pond Fountain
 - Includes installation, winter storage & service maintenance

-  Future HOA Facility
-  HOA Maintained Fence
-  Development Boundary



SW11 26-4-5

SE11 26

MAP UPDATED JANUARY 24, 2019



2019 HOA MAINTENANCE OBLIGATIONS MAP