

**ALBERTA GOVERNMENT SERVICES
LAND TITLES OFFICE**

IMAGE OF DOCUMENT REGISTERED AS:

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ADVISORY

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CAVEAT

TO THE REGISTRAR OF THE ALBERTA LAND TITLES OFFICE

TAKE NOTICE that **S.R. Homeowners Association** (the "Caveator"), of Edmonton, in the Province of Alberta, claims an interest under and by virtue of a Restrictive Covenant in writing, dated December 12, 2013, and made between **Sunset Properties Inc.**, as registered owner, and the Caveator whereby the said registered owner and the Caveator agreed, all in accordance with the terms of the said Restrictive Covenant, a true copy of which is attached to and forms part of this Caveat, in the lands described as follows:

See Schedule "A" attached hereto.

standing in the register in the name of **Sunset Properties Inc.**, and the Caveator forbids the registration of any person as transferee or owner of, or of any instrument affecting the said estate or interest, unless the instrument or Certificate of Title, as the case may be, is expressed to be subject to the Caveator's claim.

THE CAVEATOR DESIGNATES 900, 10310 Jasper Avenue, Edmonton, AB, T5J 1Y8, as the place at which notices and proceedings relating hereto may be served.

DATED this 9th day of April, 2013.

S.R. HOMEOWNERS ASSOCIATION
by its agent and solicitor



MELISSA BANACK

AFFIDAVIT IN SUPPORT OF CAVEAT

I, MELISSA BANACK, of the City of Edmonton, in the Province of Alberta, MAKE OATH AND SAY AS FOLLOWS:


1. That I am Agent for the Caveator.
2. That I believe that the Caveator has a good and valid claim upon the said land and I say that this Caveat is not being filed for the purpose of delaying or embarrassing any person interested in or proposing to deal therewith.

SWORN before me at Edmonton
in the Province of Alberta,
this 23rd day of December, 2013



A Commissioner for Oaths in and for the
Province of Alberta

KIMBERLY D. MARCELLUS
A Commissioner For Oaths
In and for the Province of Alberta
My Commission Expires July 18, 2016

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RSC

SCHEDULE "A"

PLAN 131 3277
BLOCK 23
LOTS 3-61 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS

PLAN 131 3277
BLOCK 24
LOTS 1-20 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS

PLAN 131 3277
BLOCK 25
LOTS 1-3 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS

PLAN 131 3277
BLOCK 26
LOTS 1-21 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS

PLAN 131 3277
BLOCK 26
LOTS 23-36 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS

PLAN 131 3277
BLOCK 27
LOTS 1-3 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS

THIS RESTRICTIVE COVENANT

MADE AS OF THIS 12th day of December, 2013.

BETWEEN:

SUNSET PROPERTIES INC.,
a body corporate incorporated under the laws of the Province of Alberta
(hereinafter called the "Grantor/Grantee")
OF THE FIRST PART

- and -

S. R. HOMEOWNERS ASSOCIATION,
a society incorporated under the *Societies Act* of Alberta
with registered office at 900, 10310 Jasper Avenue
in the City of Edmonton, in the Province of Alberta, T5J 1Y8
(hereinafter called the "Grantee")
OF THE SECOND PART

RESTRICTIVE COVENANT

WHEREAS:

- a. The Grantor/Grantee is the registered owner of the Dominant Lands and the Servient Lands described in Schedule "A" hereto situate in the Town of Cochrane.
- b. The Grantor/Grantee intends to impose a scheme of mutually enforceable restrictions with respect to the use and improvements on the Lands in order to preserve the integrity of the Development.

NOW THEREFORE:

The Grantor/Grantee as registered owner of the Servient Lands described in Schedule "A" does grant and the Grantor does hereby declare, establish, impose and annex to the Servient Lands and each and every portion thereof for the benefit of the Dominant Lands, the following stipulations, restrictions, guidelines and provisions to run with the Lands and be binding upon the owners from time to time of the Lots:

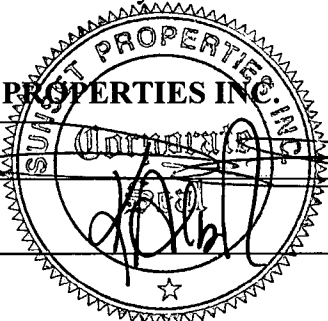
1. In this Restrictive Covenant, including the preamble, the following words and expressions shall have the meaning herein set forth:
 - a. "**Architectural Committee**" means a committee established by the Grantor/Grantee for so long as the Grantor/Grantee remains an Owner, and thereafter established by the Homeowners Association;
 - b. "**Development**" means the residential subdivision plan within which the Lots are located;

- c. **"Dominant Lands"** means the leasehold and easement interests of the Homeowner's Association, granted to the Homeowner's Association the lands described in Schedule "A" hereto;
 - d. **"Dwelling"** means any residential dwelling constructed on any of the Lots;
 - e. **"Guidelines"** means the Architectural and Construction Guidelines attached hereto as Schedule "B";
 - f. **"Homeowners Association"** means the S.R. Homeowners Association;
 - g. **"Lands"** means the lands described in Schedule 'A' hereto;
 - h. **"Lot"** means one of the lots described in Schedule 'A' hereto and any further subdivision of such lots;
 - i. **"Owner"** means a registered owner in fee simple of a Lot;
 - j. **"Restrictions"** means the provisions, restrictions and stipulations contained in Paragraph 2 of this Restrictive Covenant;
 - k. **"Restrictive Covenant"** means this agreement as the same may be amended from time to time and the expressions "herein", "hereof", "hereto", "above", "below", and similar expressions if used in any article, section or paragraph of this agreement refer to this agreement including the schedules hereto and do not refer solely to a particular article, section or paragraph unless specifically stated herein;
 - l. **"Servient Lands"** means the lands described as such in Schedule 'A' hereto.
2. For each of the Lots comprising the Servient Lands, for the benefit of the Dominant Lands, the following restrictions, stipulations and provisions are to run with the Lands, namely:
- a. No motor homes, recreational vehicles, trailers, boats or similar vehicles shall be stored for any period exceeding seven (7) days or for any period aggregating fourteen (14) days in a twelve month period on the front driveway, nor on the side yard, nor on any driveway of any building on any of the Lots, unless within an enclosure approved by the Architectural Committee, or as required by Municipal Bylaw as amended from time to time.
 - b. No satellite dishes shall be constructed, installed, placed, kept or maintained on any roof, front or side yard of any Dwelling, unless first approved by the Architectural Committee;
 - c. No radio or television aerials or antenna of any kind shall be erected, constructed or placed on any Dwelling or on any of the Lots, unless first approved by the Architectural Committee and unless the said aerial or antenna is a single unit incorporated into the structure of the Dwelling;

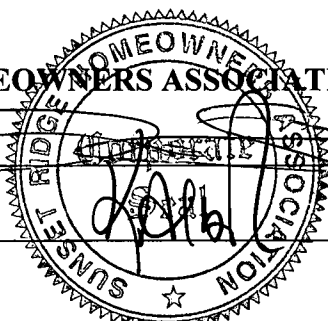
- d. No construction of the Dwelling may commence unless the building plans have been approved by the Architectural Committee;
 - e. No dwelling may be constructed unless said Dwelling conforms with the Guidelines attached hereto as Schedule "B";
3. If any of the Restrictions herein or the application thereof to any part or any circumstances shall be held by any Court of competent jurisdiction to be invalid or unenforceable to any extent, then such Restriction shall be severed from the remainder of this Restrictive Covenant, and the remainder of this Restrictive Covenant or application of such Restriction to a party or circumstance other than those to which it is held invalid or unenforceable shall not be affected thereby and each of the remaining Restrictions of this Restrictive Covenant shall be valid and enforceable to the fullest extent permitted by the law.
 4. This Restrictive Covenant is in addition to the requirements of the municipal or other government authorities having jurisdiction in respect of the use of the Lands, and nothing contained herein shall be construed as permitting or authorizing anything which is prohibited, controlled or regulated by any statute, bylaw, regulation or like enactment having the force of law and having application to the lands.
 5. Nothing herein shall require or oblige the Grantee to enforce this Restrictive Covenant or render the Grantee liable for the failure of any of the Owners from time to time of the Lots to adhere to or conform with the Restrictions contained in this Restrictive Covenant, it being the intention to attach to each of the Lots and the Owners thereof the obligation for compliance with this Restrictive Covenant.
 6. The Restrictions contained in this Restrictive Covenant shall be binding upon and enure to the benefit of the Owner from time to time of each of the Lots and the Grantee and the restrictions herein shall run with the Lands and each of the Lots.

IN WITNESS WHEREOF these presents have been executed by each of the parties hereto the day and year first above written under its corporate seal and by the hands of its officers duly authorized in that behalf.

SUNSET PROPERTIES INC.
Per: _____
Per: _____ (seal)



S. R. HOMEOWNERS ASSOCIATION
Per: _____
Per: _____ (seal)



SCHEDULE "A"

TO RESTRICTIVE COVENANT AGREEMENT

The Current Lots are legally described as follows, all being lots shown on the subdivision plan registered as Plan No. 131 3277, namely:

Block 23, Lots 3 to 61 inclusive

Block 24, Lots 1 to 20 inclusive

Block 25, Lots 1 to 3 inclusive

Block 26, Lots 1 to 21 inclusive

Block 26, Lots 23 to 36 inclusive

Block 27, Lots 1 to 3 inclusive

SCHEDULE "B"

ARCHITECTURAL AND CONSTRUCTION GUIDELINES



PHASE 13
ARCHITECTURAL
GUIDELINES

June 2013

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 - 1.1 Intent
- 2.0 Zoning Regulations**
 - 2.1 Land Use
 - 2.2 Minimum Home Sizes
 - 2.3 Driveways
 - 2.4 Front Porches
 - 2.5 Accessory Buildings
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1.0 Introduction

Sunset Ridge is a master planned residential community located in the Town of Cochrane Alberta. Sunset Ridge is accessed from Highway 22 North and consists of a wide variety of housing options ranging from Multi-Family Homes to starter single Family Homes to Estate single Family Homes.

These Architectural Guidelines have been written for Phase 13 of Sunset Ridge which consists of 60 single Family residential lots zoned R-1 and 60 multi-Family lots zoned R-3. The lot sizes will vary, however each lot in Sunset Ridge will be unique and will offer exciting building opportunities.

Traditional inspired homes will be built using modern building materials and techniques. In order to recognize this inspiration, the home styles in Sunset Ridge will be derived by an interpretation of Craftsman and Arts and Crafts architecture.

To ensure that the built form remains true to the selected styles, the Developer has commissioned IBI Group to be the Architectural Coordinator for the community. IBI Group will review all home plans submitted by the builders for conformance of these guidelines.

It is recommended that all purchasers obtain a copy of all restrictive covenants prior to signing their home purchase agreements.

1.1 Intent

Architectural Controls will be implemented in Sunset Ridge to ensure that all builders will design and build homes to meet standards that are envisioned by the Developer.

The Architectural Guidelines will enhance the integrity of the development and ensure that each home that gets built will add value to the community. The guidelines have been prepared to promote a high level of architectural detail, ensure a pleasing building form, and promote an awareness of environmental sustainability.

The intent of these guidelines is to create a community of harmony and continuity while maintaining a number of traditional architectural styles to offer variety and flavour.

2.0 Zoning Regulations

The Architectural Coordinator will complete a review of all house plans to ensure compliance. An "Approved" stamp must be issued prior to the builder submitting a building permit application to the Town of Cochrane. All construction must comply with the current Town of Cochrane Land Use Bylaw and Alberta Building Code. Construction may only begin upon receipt of a building permit from the Town of Cochrane and a Grade Slip from the Architectural Coordinator. Conformity with the Guidelines does not supersede the required Town of Cochrane approval process.

2.1 Land Use

Lots in Sunset Ridge Phase 13 have been zoned Residential Single Detached Dwelling District (R-1) or Residential Multi-Unit Dwelling District (R-3) and must follow all land use rules established in the Town of Cochrane Land Use Bylaw. If the Land Use Bylaw is revised at any time, all lots will follow the rules of the revised Land Use Bylaw. See Appendix A.

The single Family Homes will be identified as R-1 Semi-Estate Family Homes and R-1 Estate Family Homes.

R-1 Semi-Estate Family Homes	Block 23 – Lots 28-61 Block 24 – Lots 1-20
R-1 Estate Family Homes	Block 25 – Lots 1-3 Block 27 – Lots 1-3
R-3 Townhomes	Block 23 – lots 3-27 Block 26 – Lots 1-21 & 23-36

2.2 Minimum Home Sizes

The Developer has established the following minimum home sizes for Sunset Ridge. This minimum floor area is for total floor area above grade and does not include attached garages or any basement floor area.

R-1 Semi-Estate Family Homes	1,800 ft²
Two Storey:	1,400 ft²
Bungalow and Split Level:	
R-1 Estate Family Homes	2,000 ft²
Two Storey:	1,600 ft²
Bungalow and Split Level:	

The Split Level square footage calculation will include the entire footprint of the home excluding the garage. Split level homes must have the same footprint or larger than the minimum required for a bungalow.

2.3 Driveways

R-1 Semi-Estate Family Homes and R-1 Estate Family Homes require a front attached garage.

- Driveway length must be a minimum of 6.0 metres from the property line to the face of the garage wall.
- Desirable driveway slopes are between 3% and 7%
- Maximum driveway slope is 10%; minimum is 2%
- A minimum of 1.2 metres is required between driveways and side property lines. This may be relaxed on pie shaped lots at the discretion of the Architectural Coordinator.

2.4 Front Porches

When the lots have extra width available to them, a wraparound porch or extended width porch is required. This is required to maximize the use of the available lot spacing. This is especially important on reverse pie shaped lots where the front is significantly wider than the rear of the lot, corner lots, and the larger 36' and 38' amenity lots. A wraparound porch should return at least 3' from the foundation corner, while an extended width porch must have a depth of at least 6'. Specifically:

- Wraparound porches are required on:
 - lots 1, 10, 11 and 20 of block 24,
 - lots 1, 28 and 61 of block 25,
 - lot 1 of block 27,
 - lots 3 and 27 of block 23
 - lots 1 and 36 of block 36.
- An extended width porch is desirable for all other lots with extra width available to them.



2.5 Accessory Buildings

Accessory buildings will be permitted and must follow the rules of the Town of Cochrane Land Use Bylaw and are to be designed to match the style and building materials of the principal residence. For lots that back onto open space, accessory buildings, including temporary garden sheds shall not be allowed within 6.0 metres of the rear property line.

An accessory building other than a garden shed with a maximum floor area of 10 square metres will not be permitted on lot 41 of Block 23.

3.0 Siting

3.1 House Placement

Builders are asked to choose proper home designs around the approved grading and site topography to take full advantage of views and to maximize lot space. Designers are to take into consideration the lot width, length and shape as houses should be conforming to these sizes. Builders and designers are required to review the Building Grade Plan and Marketing Plan prior to designing the home. Homes on pie shaped lots should be sited in a radiating pattern rather than parallel to an adjacent side property line.

3.2 Open Space Concept

All open spaces in Sunset Ridge will be developed as a combination of naturalized and manicured areas. Naturalized areas will have a mixture of native grasses and plant material and must be kept in their natural state. No maintenance of this area is planned by the developer or the municipal authorities.

Reference to this concept is additionally provided by the registration of a restrictive covenant on title to the individual lots.

3.3 Lot Grading

Lot grading must follow the natural slope of the land and is to be consistent with the building grade plan. Builders should give due consideration to building grades when determining house types in order to assure that an appropriate house is designed on each lot. Slopes should be absorbed within the building massing as much as possible. Builders must also pay close attention to drainage patterns created on the Homesite in order to ensure surface water is channelled away from the house on all sides and into adjacent drainage swales and storm water systems.

Builders must ensure that all of the corner and intermediate elevations, as established by the development engineer, be maintained exactly as specified. Maximum permitted front, rear or side yard slope is 3:1, builders are encouraged to stay within 3% - 25% slope.

The lot grades create a drainage pattern, as indicated on the Building Grade Plan, and must be maintained. Site drainage must be established prior to commencing construction and maintained by the builder throughout the construction period.

4.0 Architectural Design

4.1 Proposed Housing Product

The proposed housing product for Sunset Ridge Phase 13 will be Single Family Estate and Semi-Estate Family Homes with front attached garages, and Townhomes. To reduce the visual impact of the front attached garages for the single Family Homes, builders will be asked to pay special attention to the form of the home and protrusion of the garage. Living space should be incorporated over the garages and it is encouraged that the front entries be brought forward and become part of the streetscape. Detailed carriage style garage doors will be required at minimum and real wood garage doors will be encouraged to create a distinctive streetscape.

4.2 Architectural Theme

Craftsman and Arts and Crafts will be the preferred architectural style for Sunset Ridge Phase 13; however other styles may be approved at the discretion of the Architectural Coordinator. Please refer to section 4.0 "Architectural Style" for a detailed description of these styles.

Note: The Developer and the Architectural Coordinator reserve the right to accept home designs which, in the opinion of the Architectural Coordinator, meet the intent of Architectural Guidelines set out herein in all respects.

4.3 R-3 Requirements

Special attention is to be considered in the design of the R-3 Townhome product located on Sunvalley Road. Where possible, these units will require front verandas sized in such a way as to provide for a meaningful outdoor amenity space for the resident.

Designers are required to add colour variation and diversity to each unit located in the row of townhomes.

Uninterrupted, untreated facades will not be permitted.

Variation in detail on facades and gables shall be

incorporated into the design of the R-3 product. Bold colour schemes and contrasting trim will be mandatory. Multiple rooflines shall be used to create articulation in the streetscape. Long straight rooflines and wall faces will not be permitted.

Individual entrances should be emphasized through roof articulation, front porches and other treatments.

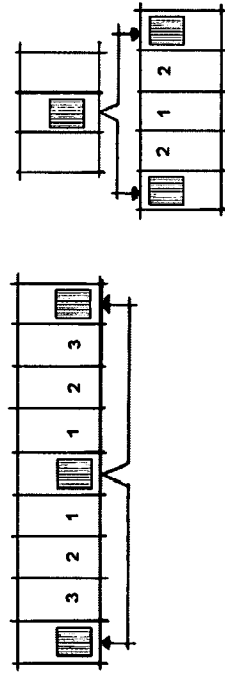
All townhomes will be required to have extensive articulation in the design and elevations. Long single rooflines and wall planes will not be permitted. Each unit in the townhome is to be modestly offset from the neighbouring unit to provide this articulation. Covered porches will be encouraged on each townhome unit to break up the massing of the front elevation.



4.4 R-1 Semi-Estate Family and Estate Family Home Requirements

4.4.1 Repetition Rules for Semi-Estate Family Homes

House designs with near identical house elevations and colours may not be repeated more often than every fourth (4th) home on the same side of the street and every third (3rd) home on the opposite side of the street.



To be different means that there is a significant change in features such as roof type, size and location of windows and doors, colours and finish materials. A change of materials alone and reversing the plan is not sufficient.

4.4.2 Repetition Rule for Estate Single Family Homes

House designs with near identical house elevations and colours may not be repeated more often than every sixth (6th) home on the same side of the street and every third (3rd) home on the opposite side of the street.

4.4.3 Building Form and Massing

A minimum of a double front attached garage will be required for all of the (R-1) homes in Phase 13. Triple car garages may be approved at the discretion of the

Architectural Coordinator and must have at least one bay of the triple garage recessed or extended out 12" from the others. In order to reduce the visual impact of the front drive garage, close attention will be paid to the architectural design of the front elevation and the design of the front entryway. One method in achieving this is bringing the front entryway of the home as far forward as possible, without adversely affecting the interior layout of the home. This will be encouraged on all R-1 homes in Sunset Ridge Phase 13.

The garage location is noted on the building grade plan and the subdivision marketing plan. Builders are to use the garage location as shown. If a side drive garage configuration is chosen, the garage should stay in the same location as if it were a front drive garage. Garages will generally be paired with the neighbouring homes unless noted otherwise on the subdivision marketing plan.

4.4.4 Roof Design and Pitch

The roof design is important to achieving the desired look of the Craftsman / Arts and Crafts design. Rooflines should generally consist of gable roofs and a minimum of 5/12 roof pitch will be required on all homes. Arts and Crafts styled homes should have a steeper roof pitch.

4.4.5 Corner Lots

Corner lots that side onto a street or open space will require substantial additional treatment. The side elevation shall be well articulated with various architectural elements appropriate for the overall design of the house. Battens will be required on openings. Other elements may include box outs, rooflines or verandas that wrap around the exposed building face, chimneys and fully detailed windows, and shadow bands.

Lots that require this treatment:

- Block 23 – lots 3, 27, 28, 61
- Block 24 – lots 1, 10, 11, 20
- Block 25 – lot 1
- Block 26 – lots 1, 21, 23, 36
- Block 27 – lot 1

4.4.6 Rear Elevations

Three storey uninterrupted elevations on walkout lots will not be permitted. Designers will be required to articulate rear elevations on walkouts to reduce the massing. This can be achieved through the use of decks, rooflines and by stepping back the upper floor.

R-1 Estate Family lots will also require

- Application of masonry consistent with the finishing scheme of the front elevation
- Boxouts and cantilevers
- Decks required to be built at the time of construction on walkout and high visibility lots
- A variety of roof lines

4.4.7 Rear Elevations on Amenity Lots

Amenity lots that back that back onto the pond or Municipal Reserve, and all lots that back onto Sunset Road will require full rear elevation treatment similar to the front elevation. This will include lots 1-3 of Block 25, lots 1-3 of block 27 and lots 41-61 of block 23. Rear decks designs must be shown on the drawings submitted to the Architectural Coordinator and must be built at the time of construction of the home. Deck columns for these lots will require a masonry base when

masonry is used on the front elevation of the home. Boxouts and rooflines and well detailed gables will be required on these rear elevations.

4.4.8 Front Porches

All homes shall incorporate a front porch into their designs to integrate with the streetscape to provide a more pedestrian friendly environment. The use of a porch on front attached garage homes will also help reduce the distance from the garage face to the front entry. To ensure the functionality and correct massing a minimum depth of 6 feet will be required for all porches. If a design is submitted that does not have a full front porch but as adequate detail and massing it may be accepted at the discretion of the Architectural Coordinator.

The underside of the porch is to be screened in an appropriate and complementary material so that the underside of the porch is not visible. Lattice will not be permitted. Stone, brick, panelling, board and batten or shake are permitted as skirting materials.

4.4.9 Exterior Decks and Patios

Railing will be required as per the Alberta Building Code. Front porches and rear decks should have railings in a style to match the architectural theme of the home. Supporting columns for decks and porches are to be architecturally detailed and must have a minimum dimension of 300mm square (12" x 12"). The cap and base of the columns must be detailed and built out.

All walkout homes regardless if they are visible from the street or open space will require the decks with (12" x 12") built out columns to be shown on the plans and built at the time of construction of the home.



4.4.11 Retaining Walls

Where retaining walls are required it is recommended that they are constructed using natural materials, i.e., sandstone boulders, rundle rock or river rock (mortar). Retaining walls not constructed from natural materials should be constructed with a visually aesthetic material, i.e., decorative concrete, or concrete with a stone or brick facing. Concrete wing walls will be acceptable when not visible from the street and require approval from the Architectural Coordinator.

Retaining walls will be limited to a height of 4 feet (1.22 metres). All retaining structures must be within property lines. Any retaining wall exceeding 1.00 metre in height MUST be approved by a professional engineer and may require a development permit.

In no instance shall a retaining wall be introduced to a lot to artificially revise the grades approved on the building grade plan.

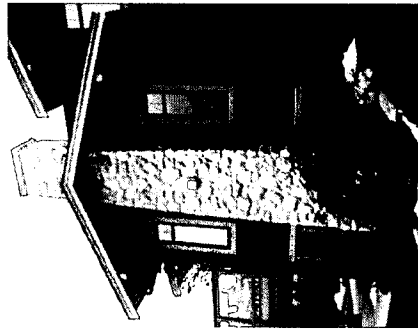
For the R-1 Estate Family lots, retaining walls are not permitted to be visible from the street.



4.4.10 Chimneys

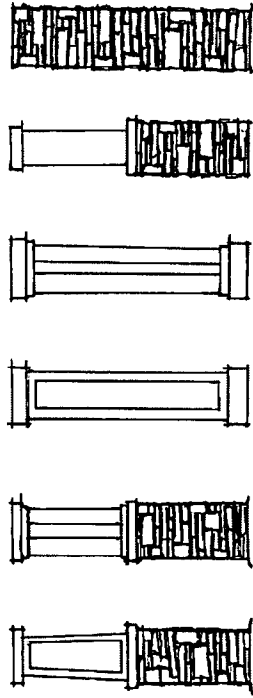
Chimneys must be finished to match the exterior wall material. Stone or brick finishes on chimney chases are highly recommended on all homes. On corner lots builders are required to bring the chimneys down to grade and are encouraged to be constructed full height chimneys that would extend past the upper floor level.

R-1 Estate Family lots will require a minimum 4' stone base on chimneys on the street facing side of corner lots.



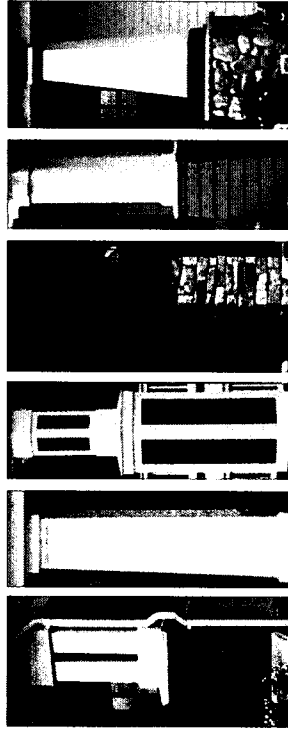
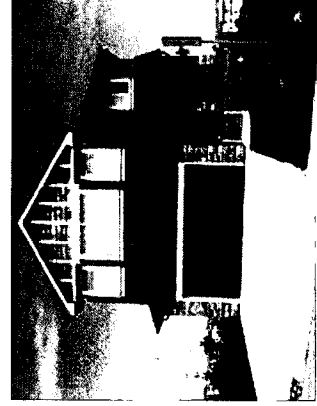
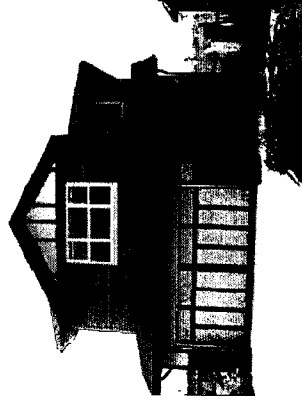
4.4.12 Columns

All columns must be boxed out in decorative material and be a minimum size of 12"x12", they should show structural integrity and have a rich level of detailing to reflect the tradition style of the home.



4.4.13 Gable treatment

All gables on front and side elevations facing a street, and rear elevations backing onto open space will require additional detailing and an alternate material in open gables. Siding on its own will not be allowed on these gables



4.5 Architectural Style

4.5.1 Craftsman / Arts and Crafts

The preferred architectural styles for Sunset Ridge will be Craftsman and Arts and Crafts. Other architectural styles may be permitted at the discretion of the Architectural Coordinator. Craftsman homes generally have moderate pitched roofs, while Arts and Crafts are steeper in pitch. Both styles may include second storey dormers, covered front verandas, decorative beams or braces and the use of traditional building materials in deep rich colours. It is encouraged that the upper floor living space of two storey homes be built into the roof massing.

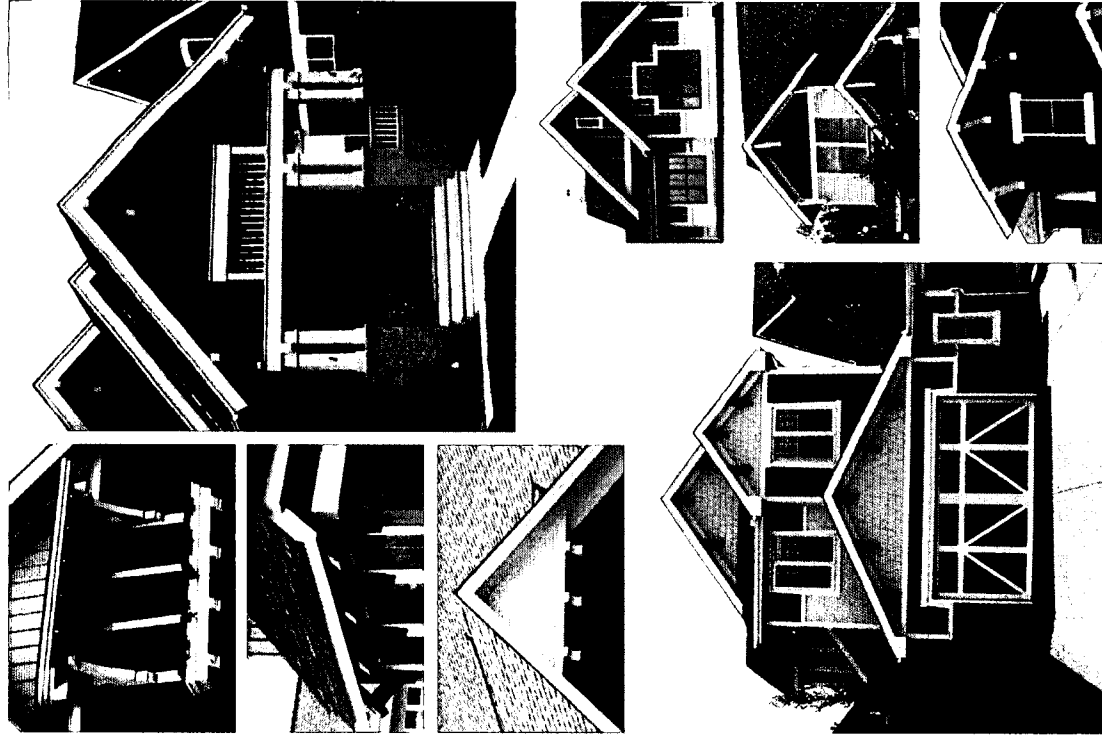
Siding and trim colours should be inspired by natural surroundings and should complement the natural materials used on the home. Masonry is essential for these styles and should only be used on the base to ground the home to add a presence of stability. All columns should be extending to ground level and squared or tapered in design. Masonry heights may vary but the thickness should always be much greater than the pier. Elements like brackets, blocks, false trusses and exposed rafter tails are encouraged to give the presence of craftsmanship.

Craftsman Elements

- Moderate roof pitch
- Use of stone or brick and natural materials
- A high level of architectural detailing on doors and windows
- Wood blocks and brackets

Arts and Crafts Elements

- Steeper roof pitch
- Alternate materials used on upper floor
- Board and batten detailing in contrasting colours



5.0 Building Materials and Colours

5.1 Primary Wall Materials

R-1 Semi-Estate Family Homes

- Composite siding is the required primary wall material. Smooth finish stucco may be permitted at the discretion of the Architectural Coordinator.
 - **Vinyl Siding will not be permitted**
- #### R-1 Estate Family Homes
- Composite siding is the required primary wall material. Smooth finish stucco may be permitted at the discretion of the Architectural Coordinator.
 - **Vinyl Siding will not be permitted**

R-3 Townhomes

- Vinyl siding in a traditional lap profile in dark bold colours will be permitted. Composite siding is encouraged.

5.2 Secondary Wall Material

- Homes must incorporate a secondary wall material into the overall design of the home. Secondary wall materials may include smooth composite panels, boards and batten, cedar shakes and composite shakes. Other alternatives are encouraged but will be approved at the discretion of the Architectural Coordinator.

5.3 Exterior Colours

Siding and stucco colours must be a darker hue for the primary wall material. Secondary wall materials may be of a

lighter shade if deemed complimentary by the Architectural Coordinator. The trim colour is suggested to be a lighter contrasting colour to the primary wall material and must complement the overall design of the home. Darker trim colours may be approved at the discretion of the Architectural Coordinator.

5.4 Masonry

The use of masonry is will be encouraged on all R-1 Semi-Estate Family Homes and R-3 Townhomes in Sunset Ridge Phase 13 and should be used in portions reflecting structural integrity.

Designs with no masonry may be accepted at the discretion of the Architectural Coordinator. These homes will require extensive detailing and trim elements.

There will be no minimum amount of stone or brick required but the placement of the material must ground the home and act as a structural element. All stone or brick must wrap at least three feet around all corners. Masonry used on the garage will be required to return to the front entry down the length of the garage wall. Only natural stone, manufactured stone and brick will be permitted as masonry materials.

For the R-1 Estate Family Homes masonry is required and must have 4' stone returns as well as return to entry along the garage wall.

5.5 Trim, Fascia and Soffits

Modern trim materials used in a traditional manner will assist the homes in Sunset Ridge Phase 13 to appear traditional and timeless. Designers are asked to put a great deal of effort into the trim detailing on the front and rear elevation.

- Trim around window and door openings will be required on the front and high visibility elevations of all homes.

- Trim material shall be Smartboard or equivalent. Smooth finish acrylic stucco battens will also be acceptable.



- When composite siding is chosen as the primary wall material, 4" minimum composite corner boards will be required on the front elevation and will also be required on elevations that are visible from open spaces. Corner boards are suggested when using stucco as a wall finish, but it is not required. **Corner boards are to match the trim colour used on the home.**
- Shadow boards or cornices, if incorporated in the design, shall be used in all open gable ends where the wall meets the soffit on all front and rear elevations.
- The fascia on open gables on the front and other highly visible elevations is to be constructed with a composite material. All other fascia may be aluminum. All fascias must be a minimum of 8 inches in height.
- Rainware should be limited on exposed elevations.
- Downspouts should take place on side and rear elevations of homes only. Rainware should match colour of soffit and fascia used on home.



5.6 Windows

- Casement, double-hung, and single-hung are appropriate window types and may be incorporated with non functional windows to create more elaborate window designs. Sliding windows in bedrooms will be acceptable, but still require decorative treatment.
- Muntin bars or SDL treatment will be required on the front elevation of each home.
- Skylights, if used, should be black in colour to match the roofing and should have a flat profile. Skylights should be incorporated on rear elevation and should not be visible from the street.

5.7 Roofing

The roofing material for all homes in Phase 13 is to be premium architectural asphalt shingles such as IKO Cambridge 30, recycled rubber composite shingles, or concrete tile in the slate profile with a dark colour. Other equivalents or upgrades may be approved but will be to the Architectural Coordinator's discretion. No wood shakes will be allowed. All roof stacks must be enclosed and/or finished to compliment the roof colour and exterior finish detail.

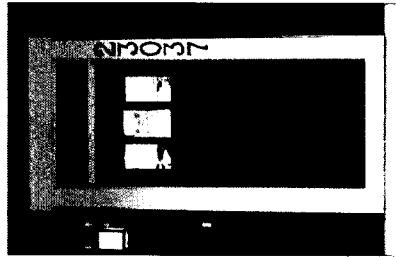
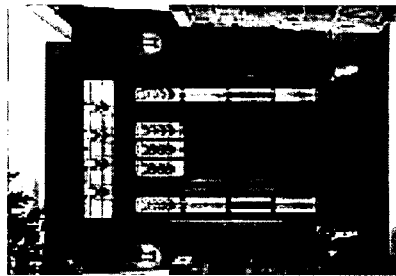
Dual Black or an equivalent will be the approved roofing colour when asphalt shingles are used.

Rainwater leaders and soffits shall match or complement the approved trim colour.

5.8 Roof Hardware

All roof hardware (vents, stacks, flashing, etc.) must be prefinished or painted to match the colour of the roofing material. **Unfinished galvanised flashing will not be permitted.**

5.9 Front Doors

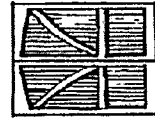
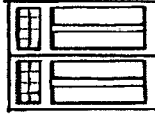
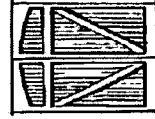
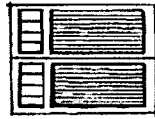


- Front entry doors are to compliment the architectural style of the home.
- Entry doors are to have glazing and/or sidelights and/or transom windows.
- Single or double front entry doors are allowed. Double front entry doors will be approved at the discretion of the Architectural Coordinator.

Sliding patio doors should not be located on front elevations.

5.10 Garage Doors

- Must be a traditional carriage or renaissance style with vertically proportioned panels and raised trim. This will give the appearance that the door has been constructed of wood.
- Are not to exceed 8 feet in height and 20 feet in width unless approved by the Design Coordinator.
- White garage doors will not be approved unless the trim colour on the home is approved as white.
- Additional space above the garage door to eaves line (more than 24 inches) will have to be justified and treated with an architectural feature.
- The same garage door style will not be permitted to be side by side, there must be at least one house of separation.



5.11 Railing

Acceptable railing materials include:

- Wrought Iron / Aluminum
- Glass panels (rear only)

- Wood railing in a decorative design may be approved on front verandas only and must compliment the design.

5.12 Driveways and Sidewalks

Exposed aggregate or stamped concrete will be the preferred driveway material.

Broom finish concrete driveways will be approved as long as a 24" border of exposed aggregate or stamped concrete is used.

All driveways are to have a joint 2.4 metres from the back of curb. This will reduce damage to driveways as a result of water valve maintenance.

Sidewalks leading up to the home from the driveway are to match the concrete that was used for the driveway.

Driveways must be at least 1.2 metres from the side property line. This may be relaxed for pie shaped lots at the discretion of the Architectural Coordinator.

For the Estate Family Homes driveways must be constructed of decorative concrete in exposed aggregate or stamped finish.

5.13 Front Steps

Front steps, when constructed of concrete, should match the driveway and sidewalk. Decorative concrete is encouraged. Steps which have a combination of smooth concrete and exposed aggregate will also be approved.

Alternate materials may be approved for the front steps at the discretion of the Architectural Coordinator if the materials are high quality and compliment the design of the home.

5.14 Lighting

Exterior lighting will be required on the garage and front entry. Recessed pot lighting is encouraged; however decorative coach lamps will be acceptable.

