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Sunset Ridge

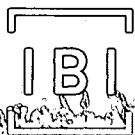
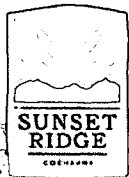
IN COCHRANE BY

MELCOR

DEVELOPMENTS LTD.

PHASE 20

ARCHITECTURAL GUIDELINES



July 2015



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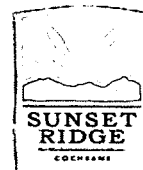


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1. INTRODUCTION

Sunset Ridge is a master planned residential community located in the Town of Cochrane, Alberta. Sunset Ridge is accessed from Highway 22 North and consists of a wide variety of housing options ranging from multifamily homes to starter single family homes to estate single family homes.

These Architectural Guidelines have been written for Phase 20 of Sunset Ridge which consists of single detached homes and semi detached homes. The lot sizes will vary. Each lot in Sunset Ridge will be unique and will offer exciting building opportunities.

Traditional inspired homes will be built using modern building materials and techniques. In order to recognize this inspiration, the home styles in Sunset Ridge will be derived by an interpretation of Craftsman and Arts and Crafts architecture.

To ensure that the built form remains true to the selected styles, the Architectural Committee has commissioned IBI Group to be the interim Architectural Coordinator for the community. IBI Group will review all home plans submitted by the builders for conformance of these guidelines. This responsibility will be assumed by the Architectural Committee once assigned by the Developer.

It is recommended that all purchasers obtain a copy of all restrictive covenants prior to signing their home purchase agreements.





1.1 Architectural Guidelines

Architectural Guidelines will be implemented in Sunset Ridge Phase 20 to ensure that all builders will design and build homes to meet standards that are envisioned by the Developer.

The Architectural Guidelines will enhance the integrity of the development and ensure that each home that gets built will add value to the community. The Architectural Guidelines have been prepared to promote a high level of architectural detail, ensure a pleasing building form, and promote an awareness of environmental sustainability.

1.2 Intent and Theme

The intent of these guidelines is to create a community of harmony and continuity while maintaining a number of traditional architectural styles to offer variety and flavour.

Architectural styles other than Craftsman and Arts and Crafts will be considered in Sunset Ridge Phase 20 and will be carefully reviewed by the Architectural Committee to ensure that the style will blend with all of the homes in the development.





2. LAND USE ZONING

The Architectural Committee will complete a review of all house plans to ensure compliance. An "Approved" stamp must be issued prior to the builder submitting a building permit application to the Town of Cochrane. All construction must comply with the current Town of Cochrane Land Use Bylaw and Alberta Building Code. Construction may only begin upon receipt of a building permit from the Town of Cochrane and a Grade Slip from the Architectural Committee. Conformity with the Guidelines does not supersede the required Town of Cochrane approval process.

2.1 Land Use Bylaw

Sunset Ridge Phase 20 is comprised of R-1 and R-2 lots. All homes will be subject to all land use rules established in the Town of Cochrane Land Use Bylaw. If the Land Use Bylaw is revised at any time, all lots will follow the Land use Rules of the revised Land Use Bylaw. The land use breakdown is as follow:

SINGLE DETACHED HOMES

R-1	Block 28	Lots 54-73	Double Front Garage
		Lots 96-111	Double Front Garage
	Block 35	Lots 14-51	Double Front Garage
		Block 37	Lots 1-15

SEMI DETACHED HOMES

R-2	Block 28	Lots 30-53	Laned
	Block 28	Lots 74-95	Single Front Garage
	Block 36	Lots 1-30	Single Front Garage

2.2 Zoning Regulations

All homes in Sunset Ridge Phase 20 will follow the regulations noted in the appropriate Land Use District in the Town of Cochrane Land Use Bylaw. For convenience the R-1 and R-2 sections of the Land Use Bylaw along with the General Regulations for Residential Districts can be found in Appendix C.



2.3 Minimum Homes Sizes

The Developer has established the following minimum homes sizes for Phase 20 of Sunset Ridge. The minimum floor area is for total floor area above grade and does not include attached garages or any basement floor area.

R-1 Zoning - Double Front Garage

Block 28 Lots 54-73 & 96-111, Block 35 14-51 and Block 37 Lots 1-15

Two Storey: 1,800 ft²

Bungalow and Split Level: 1,400 ft²

R-2 Zoning - Single Front Garage and Lanes

Block 28, Lots 30-53, Block 28, Lots 74-95, and Block 36 Lots 1-30

Two Storey: 1,100 ft²

Bungalow and Split Level: 800 ft²

The Split Level square footage calculation will include the entire footprint of the home excluding the garage. Split level homes must have the same footprint or larger than the minimum required for a bungalow.

2.4 Driveways

- Driveway length must be a minimum of 6.0 metres from the property line to the face of the garage wall.
- Desirable driveway slopes are between 3% and 7%.
- Maximum Driveway slope is to be 10%; minimum is to be 2%.
- A minimum of 1.2 metres is required between driveways and side property lines. This may be relaxed on pie shaped lots at the discretion of the Architectural Coordinator.
- The driveway width for front drive Semi-Detached homes will be limited to the width of garage only.

2.5 Accessory Buildings

Accessory buildings will be permitted and must follow the rules of the Town of Cochrane Land Use Bylaw and are to be designed to match the style and building materials of the principal residence.



3. SITING

3.1 House Placement

Builders are required to choose proper home designs around the approved grading and site topography to take full advantage of views and to maximize lot space. Designers are to take into consideration the lot width, length and shape as houses should be conforming to these sizes. Builders and designers are required to review the Building Grade Plan and Marketing Plan prior to designing the home. Homes on pie shaped lots should be sited in a radiating pattern rather than parallel to an adjacent side property line.





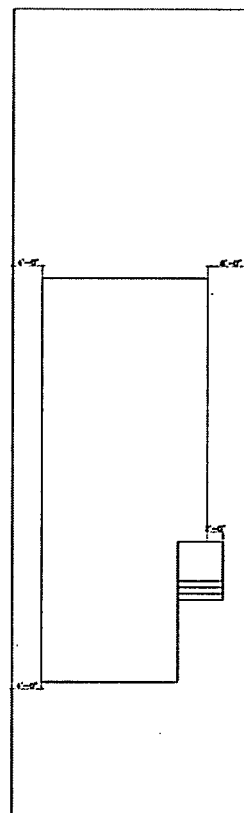
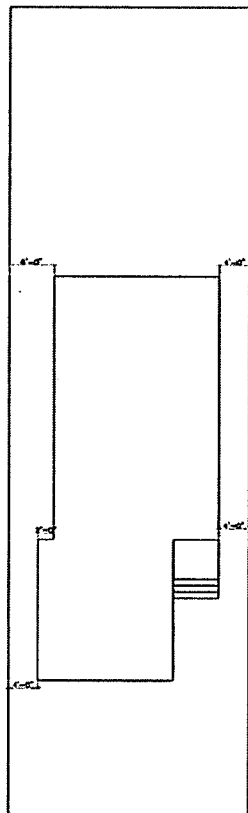
3.2 Maximum Side Yards

3.2.1 Interior Lots

- The preferred combined side yard for all interior lots in Sunset Ridge Phase 20 will be 8' (2.44m) (i.e. a 30' dwelling on a 38' lot). The distance will be measure from the side property line to the foundation wall on both the front and the rear of the dwelling.
- A maximum combined side yard of 10' (3.05m) (i.e. a 28' dwelling on a 38' lot) for all interior lots will be permitted providing that a minimum 2' (0.61m) garage offset is provided or a minimum 2' (0.61m) porch extension is provided.

3.2.2 Corner Lots

- A maximum combined side yard of 14' (4.27m) will be permitted on corner lots providing that the following conditions have been met;
 - The maximum dwelling width must be 10' (3.05m) less than the lot width noted on the Marketing Plan (i.e. a 28' dwelling on a 38' lot).
 - A minimum 3' (0.91m) wraparound porch width is provided.
 - Builder may choose to extend the rear deck to meet the 14' (4.27m) combined side yard on corner lots, where possible.





3.3 Lot Grading

Lot grading must be in compliance with the Town of Cochrane Surface Drainage Bylaw 13/2005. Builders should give due consideration to building grades when determining house types in order to assure that an appropriate house is located on each homesite. Lot slopes should be absorbed within the building massing as much as possible.

- Builders must pay close attention to drainage patterns created on the homesites in order to ensure surface water is channelled away from the house on all sides and into adjacent drainage swales and storm water systems.
- Builders are to ensure that all of the corner and intermediate elevations, as established by the development engineer, be maintained exactly as specified.
- Maximum permitted front, rear or side yard slope is 3:1, builders are encouraged to stay within 5% - 25% slope.
- The lot grades create a drainage pattern, as indicated on the "grade plan", and must be maintained.
- Site drainage must be established prior to commencing construction and maintained by the builder throughout the construction period.
- Individual lot grading (including drainage swales and retaining walls) must be completed within individual home site property lines.





4. ARCHITECTURAL DESIGN

4.1 Proposed Housing Product

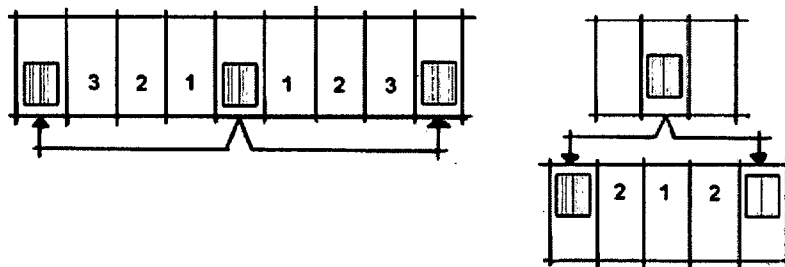
Single family homes and Semi Detached homes will be offered in Sunset Ridge Phase 20. Certain lots have been designed to accommodate front drive garages. To reduce the visual impact of the front attached garages builders will be asked to pay special attention to the form and finish of the garage so that it complements the character of the principle dwelling. Living space should be incorporated over the garages, and it is encouraged that the front entries of the homes be brought forward and shall be designed to emphasize the entrance as the focal point of the dwelling. Detailed carriage style garage doors will be required at minimum and real wood garage doors will be encouraged to create a distinctive streetscape.

4.2 Repetition

Single family home designs with near identical house elevations and colours may not be repeated more often than every fourth (4th) home on the same side of the street and every third (3rd) home on the opposite side of the street.

Semi detached home designs with near identical house elevations and colours may not be repeated more often than every third (3rd) building on the same side of the street and may not be repeated directly across the street.

To be different means that there is a significant change in features such as roof type, size and location of windows and doors, colours and finish materials. A change of materials alone and reversing the plan is not sufficient.



4.3 Architectural Theme & Style

Craftsman and Arts and Crafts will be the preferred architectural style for Sunset Ridge Phase 20; however other styles may be approved at the discretion of the Architectural Coordinator. Please refer to section 4.5 "Architectural Style" for a detailed description of these styles.

Note: The Developer and the Architectural Coordinator reserve the right to accept home designs which, in the opinion of the Architectural Coordinator, meet the intent of Architectural Guidelines set out herein in all respects.



4.3.1 Craftsman / Arts and Crafts

The preferred architectural styles for Phase 20 of Sunset Ridge will be Craftsman and Arts and Crafts. Other architectural styles may be permitted at the discretion of the Architectural Coordinator.

Craftsman homes generally have moderate pitched roofs, while Arts and Crafts are steeper in pitch. Both styles may include second storey dormers, covered front verandas, decorative beams or braces and the use of traditional building materials in deep rich colours. It is encouraged that the upper floor living space of two storey homes be built into the roof massing.

Siding and trim colours should be inspired by natural surroundings and should complement the natural materials used on the home.

Masonry is essential for these styles and should only be used on the base to ground the home to add a presence of stability.

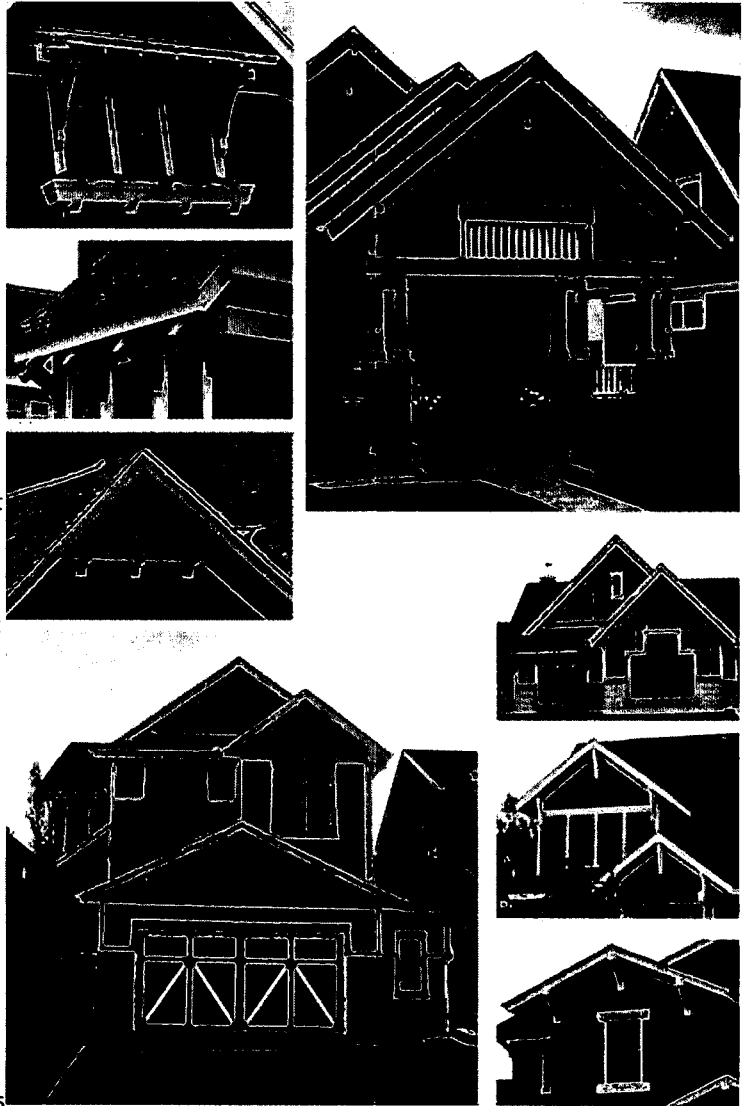
Masonry heights may vary but the thickness should always be much greater than the pier. Elements like brackets, blocks, false trusses and exposed rafter tails are encouraged to give the presence of craftsmanship.

Craftsman Elements:

- Moderate roof pitch
- Use of stone or brick and natural materials
- A high level of architectural detailing on doors and windows
- Wood blocks and brackets

Arts and Crafts Elements:

- Steeper roof pitch
- Alternate materials used on upper floor
- Board and batten detailing in contrasting colours





4.4 Building Form and Massing

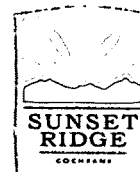
R-1 Zoning (Front Attached Garages)

- A minimum of a double front attached garage will be required on these lots. The attached garage should reflect and complement the overall massing and proportion of the home and not dominate the streetscape. Triple car garages may be approved at the discretion of the architectural coordinator and must have at least one bay of the triple garage recessed or extended out 12" from the others.
- If the third bay of the garage is fully offset from the main body of the home, special attention must be paid to the roof design and massing in order to integrate the third garage bay into the overall appearance of the home. Attached triple car garages must be a natural extension of the design, massing and materials of the main dwelling.
- In order to reduce the visual impact of front drive garages, close attention will be paid to the architectural design of the front elevation and the design of the front entryways. One method in achieving this is bringing the front entryway of the home as far forward as possible, without adversely affecting the interior layout of the home. Deeper porches and roof lines that extend past the steps are highly encouraged to provide a better sense of enclosure over the entry.
- The garage location is noted on the building grade plan and the subdivision marketing plan. Builders are required to use the garage location as shown unless otherwise approved by the developer.
- Extra wide double car garages shall not be permitted unless otherwise approved at the discretion of the architectural coordinator.
- If a side drive garage configuration is chosen, the garage should stay in the same location as if it were a front drive garage.
- Garages will generally be paired with the neighbouring homes unless noted otherwise on the subdivision marketing plan.

R-2 Zoning (Semi Detached Homes)

Entrances should be emphasized through roof articulation, front porches and other treatments. Overall massing on semi detached homes shall provide a resemblance to a larger single family home.

Some semi detached homes will have a front attached single width garage and others will have the option of a rear detached garage. Unenclosed parking pad will not be permitted. It is preferred that the garage from each unit be paired with the adjoining unit to create the look of a double car garage.



4.4.1 Roof Design and Pitch

The roof design is important to achieving the desired look of the Craftsman / Arts and Crafts design. Rooflines should generally consist of gable roofs and a minimum of 6/12 roof pitch will be required on all homes. Roof vents and plumbing stacks must be located away from the street view of the house where possible.

- Overhangs on all roof configurations shall be a minimum of 18".

4.4.2 Corner Lots

Corner lots that side onto a street or open space will require substantial additional treatment. The side elevation shall be well articulated with various architectural elements appropriate for the overall design of the house. Battens will be required on openings. Other elements may include box outs, rooflines or verandas that wrap around the exposed building face shall be the preferred treatment, chimneys and fully detailed windows, and shadow bands.

Lots that require this treatment:

- | | |
|-------------------------------------|-----------------------------------|
| Block 28 - Lots 30, 53, 54, and 111 | Block 36 - Lots 1, 16, 17, and 30 |
| Block 35 - Lots 14, 32, 33, and 51 | Block 37 - Lots 1, 8, 9, and 15 |





4.4.3 Front Porches

All homes shall incorporate a front porch into their designs to integrate with the streetscape and must be maximized in size and length to provide a more pedestrian friendly environment. The use of a porch on front attached garage homes will also help reduce the distance from the garage face to the front entry. To ensure the functionality and correct massing a minimum depth of 6 feet will be required for all porches for single detached homes and semi detached homes with 4' porch roof extension. If a design is submitted that does not have a full front porch but has adequate detail and massing it may be accepted at the discretion of the Architectural Coordinator.

The underside of the porch is to be screened in an appropriate and complementary material so that the underside of the porch is not visible. Lattice will not be permitted. Stone, brick, panelling, board and batten or shake are permitted as skirting materials. Front steps and landing are encouraged to be constructed of concrete, but wood or other alternate material will be permitted.

4.4.4 Enhanced Porches

When the lots have extra width available to them, a wraparound porch or extended width porch shall be considered, unless otherwise approved at the discretion of the architectural coordinator. This is especially important on reverse pie shaped lots where the front is significantly wider than the rear of the lot, corner lots, and the larger 36 feet and 38 feet amenity lots. When provided, a wraparound porch should return at least 3' from the foundation corner, while an extended width porch will require a depth of at least 8' for Single Front Attached and 6' for Semi-Detached Homes and Townhomes. Wraparound porches are to be considered in the design on:

Block 28 - Lots 30 and 111

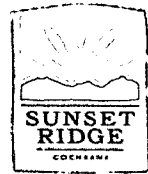
Block 36 - Lots 1, 16, 17, and 30

Block 35 - Lots 14, 32, 33, and 51

Block 37 - Lots 1, 8, 9, and 15

An extended width porch is required for all other lots with extra width available to them. If an enhanced porch is not provided as per the standards in this section, the landing/porch off the principal entrance to the home will require additional architectural detailing.





4.4.5 Rear Elevations

All rear elevations will require some additional detailing that will include at the minimum battens around openings. Large exposed flat walls will not be permitted. Designers will be required to articulate rear elevations to breakup the vertical massing. This can be achieved through the use of decks, rooflines and by stepping back the upper floor where warranted.

Rear elevations that back onto open space or onto a corner lot will require the same level of detailing as the front elevation.

4.4.6 Exterior Decks and Patios

Railings will be required as per the Alberta Building Code. Front porches, landings and rear decks shall have railings in a style to match the architectural theme of the home. Supporting columns for decks and porches are to be architecturally detailed and must have a minimum dimension of 300mm square (12" x 12"). The cap and base of the columns must be detailed and built out.

All walkout homes regardless if they are visible from the street or open space will require the decks with (12" x 12") built out columns to be shown on the plans and built at the time of construction of the home.

4.4.7 Chimneys

Chimneys must be finished to match the exterior wall material. Stone or brick finishes on chimney chases are highly recommended on all homes. On corner lots builders are required to bring the chimneys down to grade and are encouraged to be constructed full height chimneys that would extend past the upper floor level.





4.4.8 Retaining Walls

Where retaining walls are required it is recommended that they are constructed using natural materials, i.e., sandstone boulders, rundle rock or river rock (mortar). Retaining walls not constructed from natural materials should be constructed with a visually aesthetic material, i.e., decorative concrete, or concrete with a stone or brick facing. Concrete wing walls will be acceptable when not visible from the street and require approval from the Architectural Coordinator.

Retaining walls will be limited to a height of 4 feet (1.22 metres). All retaining structures must be within property lines. Any retaining wall exceeding 1.00 metre in height **MUST** be approved by a professional engineer and may require a development permit.

In no instance shall a retaining wall be introduced to a lot to artificially revise the grades approved on the building grade plan unless otherwise approved by the developer.

4.4.9 Columns

All columns must be boxed out in crezone or smartboard detailing (siding not pemritted on columns) and be a minimum size of 12"x12", they should show structural integrity and have a rich level of detailing to reflect the traditional style of the home. All porch columns must return to grade wherever possible.

4.4.10 Gable Treatment

All gables on front and side elevations facing a street, and rear elevations backing onto open space will require additional decorative detailing and an alternate material. Siding on its own will not be allowable on these gables. A horizontal batten separating the main wall and the gable is suggested, as shown below.

