

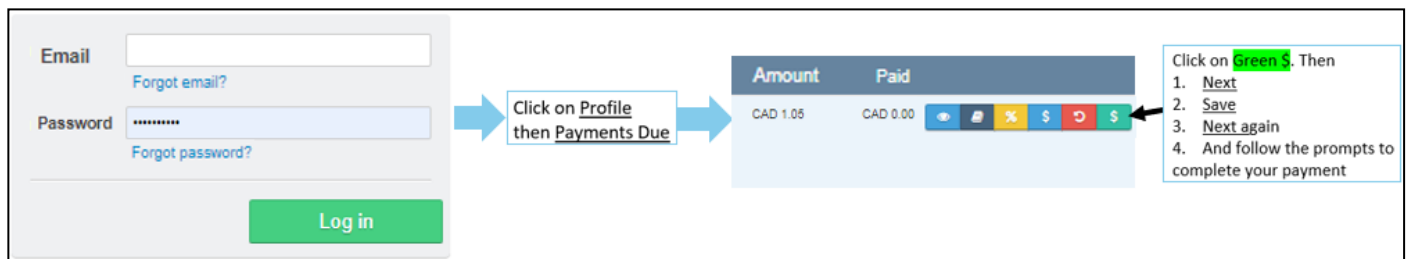


Homeowners Association Fees – Effective January 1, 2025

The Board of Directors is pleased to enclose the 2025 Operating Budget and Fee Notice for the Sunset Ridge Homeowners Association (HOA). The budget is a result of careful consideration, analysis of past and anticipated expenses and review of the financial obligations of the Association for the upcoming fiscal year. A copy of the Annual Operating Budget for the 2025 fiscal year is attached for your reference and review.

TO ACCESS YOUR PERSONALIZED INVOICE(S), PLEASE LOG IN TO THE ONLINE PORTAL OR CONTACT CORE MANAGEMENT AT info@coremanagement.ca TO RECEIVE A COPY OF YOUR INVOICE. Payments can be made online, via telepay or by cheque. **Payments are due January 1st, 2025.**

To pay your invoice online, go to <https://central.ivrnet.com/sunsetridge/>, click on “Log in” and enter your email address and your password. If you are unsure of your credentials, please contact info@coremanagement.ca.



Please note, if fees are owed for prior years, all invoices can be viewed in the portal and must be paid in full.

Based on the estimated 2025 annual operating costs, fees have remained the same at **\$146 + GST = \$153.30** for the fiscal year January 1, 2025 - December 31, 2025.

The Sunset Ridge Homeowners Association is a non-profit organization, which manages and maintains assets owned by the Association for the benefit of community residents. The Association oversees the maintenance of community amenities, which include the entry features, stonework, signage, lighting, storm pond pump, a portion of the landscaping and public side fencing.

As a property owner in Sunset Ridge, you are a member of the Sunset Ridge Homeowners Association. Membership is mandatory and fees are charged in accordance with the encumbrance registered on your certificate of title.

Sincerely,
Sunset Ridge Homeowners Association
Board of Directors

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Division of Core Management Group Inc.
Office Address: 1250, 5555 Calgary Trail, Edmonton, AB T6H 5P9
www.coremanagement.ca



2025 BUDGET

2025 BUDGET

<u>Revenue</u>	<u>\$</u>	<u>\$</u>
2025 Membership Fees (1,194 Lots at \$146)	174,324	
2025 Pro-Rated Membership Fees (65 Lots at \$73)	4,745	
TOTAL ESTIMATED REVENUE		179,069
<u>Expenditure</u>		
Repairs & Maintenance		
- Fencing	10,000	
- Lighting	5,000	
- Signage	1,000	
Utilities	6,450	
Landscaping	35,540	
Admin		
- Audit Fees	4,000	
- Management Fees	40,800	
- IT & Administration	6,165	
- Annual Fee Printing & Mailout	10,650	
- Banking Fees	5,410	
TOTAL ESTIMATED OPERATING EXPENSES		125,015
Sunset Ridge Community Events Contribution		10,000
Reserve Fund Contribution		44,054
Excess of Revenue Over Expenses		0

Please note, any surplus may be deposited to a reserve fund for capital repairs/replacements

Collections Procedures 2025

- Fees Due January 1, 2025**
- March 1**
Interest is applied to all outstanding accounts (16% per annum).
- April 1**
Interest is applied to all outstanding accounts - Final Notice
- May 1**
Payments are no longer accepted by the Association. Accounts are handed over to Sunset Ridge Homeowners Association's legal counsel, Field Law, for collections.

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