

# Sunset Ridge

— IN COCHRANE BY —

**MELCOR**



PHASE 21B

ARCHITECTURAL GUIDELINES

August 2024 | #143735



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# 1. INTRODUCTION

Sunset Ridge is a master planned residential community located in the Town of Cochrane, Alberta. Sunset Ridge is accessed from Highway 22 North and consists of a wide variety of housing options ranging from multifamily homes to starter single family homes to estate single family homes.

These Architectural Guidelines have been written for Phase 21B of Sunset Ridge which consists of 32 single Family Front Drive Homes. The lot sizes will vary. Each lot in Sunset Ridge will be unique and will offer exciting building opportunities.

Traditional inspired homes will be built using modern building materials and techniques. In order to recognize this inspiration, the home styles in Sunset Ridge will be derived by an interpretation of Craftsman/Arts and Crafts, Prairie and Modern Farmhouse architecture.

To ensure that the built form remains true to the selected styles, the Architectural Committee has commissioned Arcadis to be the interim Architectural Coordinator for the community. Arcadis will review all home plans submitted by the builders for conformance of these guidelines. This responsibility will be assumed by the Architectural Committee once assigned by the Developer.

**It is recommended that all purchasers obtain a copy of all restrictive covenants prior to signing their home purchase agreements.**







## 1.1 Architectural Guidelines

Architectural Guidelines will be implemented in Sunset Ridge Phase 21B to ensure that all builders will design and build homes to meet standards that are envisioned by the Developer.

The Architectural Guidelines will enhance the integrity of the development and ensure that each home that gets built will add value to the community. The Architectural Guidelines have been prepared to promote a high level of architectural detail, ensure a pleasing building form, and promote an awareness of environmental sustainability.

## 1.2 Intent and Theme

The intent of these guidelines is to create a community of harmony and continuity while maintaining a number of traditional architectural styles to offer variety and flavour.

Architectural styles other than Craftsman/Arts and Crafts, Prairie and Modern Farmhouse will be considered in Sunset Ridge Phase 21B and will be carefully reviewed by the Architectural Committee to ensure that the style will blend with all of the homes in the development.





## 2. LAND USE ZONING

The Architectural Committee will complete a review of all house plans to ensure compliance. An “Approved” stamp must be issued prior to the builder submitting a building permit application to the Town of Cochrane. All construction must comply with the current Town of Cochrane Land Use Bylaw and Alberta Building Code. Construction may only begin upon receipt of a building permit from the Town of Cochrane and a Grade Slip from the Architectural Coordinator. Conformity with the Guidelines does not supersede the required Town of Cochrane approval process.

### 2.1 Land Use Bylaw

Sunset Ridge Phase 21B is comprised of lots which have been zoned R-LD Residential Low Density District. All homes will be subject to all land use rules established in the Town of Cochrane Land Use Bylaw. If the Land Use Bylaw is revised at any time, all lots will follow the revised Land Use Bylaw.

### 2.2 Zoning Regulations

All homes in Sunset Ridge Phase 21B will follow the regulations noted in the appropriate Land Use District in the Town of Cochrane Land Use Bylaw. For convenience, the R-LD section of the Land Use Bylaw along with the General Regulations for Residential Districts can be found in Appendix C.

### 2.3 Minimum Homes Sizes

The Developer has established the following minimum homes sizes for Phase 21B of Sunset Ridge. The minimum floor area is for total floor area above grade and does not include attached garages or any basement floor area.

#### **Block 23 - Lots 123-141**

|                                    |                             |
|------------------------------------|-----------------------------|
| <b>Two Storey:</b>                 | <b>1,800 ft<sup>2</sup></b> |
| <b>Bungalow &amp; Split Level:</b> | <b>1,400 ft<sup>2</sup></b> |

#### **Block 42 - Lots 1-13**

|                                    |                             |
|------------------------------------|-----------------------------|
| <b>Two Storey:</b>                 | <b>1,600 ft<sup>2</sup></b> |
| <b>Bungalow &amp; Split Level:</b> | <b>1,200 ft<sup>2</sup></b> |

The Split Level square footage calculation will include the entire footprint of the home excluding the garage. Split level homes must have the same footprint or larger than the minimum required for a bungalow.

Developer reserves the right to approve plans that are less than the minimum at their discretion.



### 3. SITING

#### 3.1 House Placement

Builders are required to choose proper home designs around the approved grading and site topography to take full advantage of views and to maximize lot space. Designers are to take into consideration the lot width, length and shape as houses should be conforming to these sizes. Builders and designers are required to review the Building Grade Plan and Marketing Plan prior to designing the home.

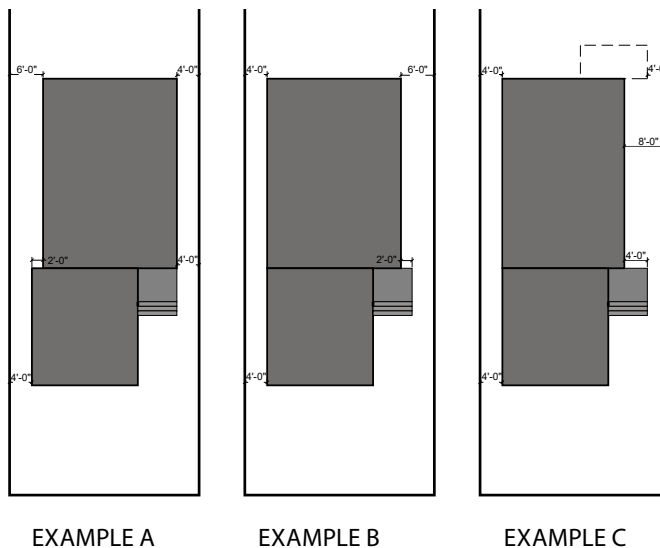
#### 3.2 Front Yard Setbacks

It is the intent in this phase to have varied front yard setbacks to enhance the streetscape. The suggested front yard setback for each lot will be shown on the Marketing Plan for Phase 21B. The minimum setback will be 6m from Back of Sidewalk to the garage.

#### 3.3 Maximum Side Yards

##### 3.3.1 Interior Lots

- The preferred combined side yard for all interior lots in Sunset Ridge Phase 21B will be 8' (2.44m) (i.e. a 22' dwelling on a 30' lot). The distance will be measured from the side property line to the foundation wall on both the front and the rear of the dwelling.
- A maximum combined side yard of 10' (3.05m) (i.e. a 28' dwelling on a 38' lot) for all interior lots will be allowed providing that a minimum 2' (0.61) garage offset will be provided (see Example A) or that a minimum 2' (0.61m) porch extension is provided (see Example B).





### 3.3.2 Corner Lots

- A maximum combined side yard of 14' (4.27m) will be permitted on corner lots providing that the following conditions have been met;
  - The minimum dwelling width must be 10' (3.05m) less than the lot width noted on the Marketing Plan (i.e. a 28' dwelling on a 38' lot).
  - A minimum 3' (0.91m) wide wraparound porch is provide.
  - Builder may choose to extend the rear deck to meet the 14' (4.27m) combined side yard on corner lots, where possible.

### 3.4 Lot Grading

Lot grading must be in compliance with the Town of Cochrane Surface Drainage Bylaw 13/2005. Builders should give due consideration to building grades when determining house types in order to assure that an appropriate house is located on each homesite. Lot slopes should be absorbed within the building massing as much as possible.

- Builders must pay close attention to drainage patterns created on the homesites in order to ensure surface water is channelled away from the house on all sides and into adjacent drainage swales and storm water systems.
- Builders are to ensure that all of the corner and intermediate elevations, as established by the development engineer, be maintained exactly as specified.
- Maximum permitted front, rear or side yard slope is 3:1, builders are encouraged to stay within 5% - 25% slope.
- The lot grades create a drainage pattern, as indicated on the "grade plan", and must be maintained.
- Site drainage must be established prior to commencing construction and maintained by the builder throughout the construction period.
- Individual lot grading (including drainage swales and retaining walls) must be completed within individual home site property lines.





## 4. ARCHITECTURAL DESIGN

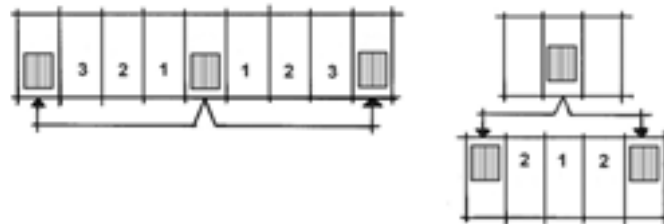
### 4.1 Proposed Housing Product

All homes will be Single Family front drive configuration in Sunset Ridge Phase 21B. The proposed housing product will be bungalow and two storey homes with front porch in Craftsman/Arts and Crafts, Prairie and Modern Farmhouse styled designs.

### 4.2 Repetition

Single family home designs with near identical house elevations and colours may not be repeated more often than every fourth (4th) home on the same side of the street and every third (3rd) home on the opposite side of the street.

To be different means that there is a significant change in features such as roof type, size and location of windows and doors, colours and finish materials. A change of materials alone and reversing the plan is not sufficient.



### 4.3 Architectural Theme & Style

Craftsman/Arts and Crafts, Prairie and Modern Farmhouse will be the preferred architectural style for Sunset Ridge Phase 21B; however other styles may be approved at the discretion of the Architectural Coordinator. Please refer to section 4.5 "Architectural Style" for a detailed description of these styles.

**Note:** The Developer and the Architectural Coordinator reserve the right to accept home designs which, in the opinion of the Architectural Coordinator, meet the intent of Architectural Guidelines set out herein in all respects.



### 4.3.1 Craftsman / Arts and Crafts

Craftsman and Arts and Crafts will be the preferred architectural styles for Phase 21B of Sunset Ridge. Other architectural styles may be permitted at the discretion of the Architectural Coordinator.

Craftsman homes generally have moderate pitched roofs, while Arts and Crafts are steeper in pitch. Both styles may include second storey dormers, covered front verandas, decorative beams or braces and the use of traditional building materials in deep rich colours. It is encouraged that the upper floor living space of two storey homes be built into the roof massing.

Siding and trim colours should be inspired by natural surroundings and should complement the natural materials used on the home. Masonry is essential for these styles and should only be used on the base to ground the home to add a presence of stability. Masonry heights may vary but the thickness should always be much greater than the pier. Elements like brackets, blocks, false trusses and exposed rafter tails are encouraged to give the presence of craftsmanship.

#### Craftsman Elements:

- Moderate roof pitch
- Use of stone or brick and natural materials
- A high level of architectural detailing on doors and windows
- Wood blocks and brackets

#### Arts and Crafts Elements:

- Steeper roof pitch
- Alternate materials used on upper floor
- Board and batten detailing in contrasting colour





### 4.3.2 Prairie

Prairie dwellings are characterized by a low, grounded built-form, and shallow pitched roofs with wide overhanging eaves. The minimum required roof pitch on Prairie homes will be 4:12 with 24" minimum overhangs. Eaves are permitted to project a maximum of 600 mm into the side yard setback.

Wood of various types is the most common exterior surface combined with the use of brick or stone. Board and batten, horizontal siding and paneling are all common wall surfaces. Veranda and porch elements are major elements in the composition. Breezeways are also a common element, used to connect different portions of the building and provide weather protection.

Windows are typically casement type with substantial wood trim, and grouped together in bands to enhance the ground-oriented built form. Colours vary from the lighter shades of stained or painted wood siding through weathered grays to rich earth tones.

Chimney are generally wider on these homes and finished in brick or stone. Horizontal lines through the home are emphasized through the use of stone and battens.

#### Typical Design Elements:

- Low-pitched hip roof (a min. slope of 4:12)
- Wide overhanging eaves (a min. of 24")
- Horizontal and flat lines
- Low proportions
- Broad flat chimney
- Grouped casement windows
- Extensive wood trim
- Veranda and porch elements
- Massive square porch supports





### 4.3.3 Modern Farmhouse

This style has a very clean distinctive look highlighted through the use of contrasting siding and window colours. In this style only, the siding may be the same colour as the trim and fascia of the home, as long as the vinyl or metal window colours provide the contrast. Steep roof pitches are generally used with feature portions of the roof covered in standing seam metal.

Feature walls are generally clad in vertical board and batten where the main body of the home has a horizontal lapped siding. A white or light coloured palette is common in this style, highlighted by contrasting roofing and windows.

#### Typical Design Elements:

- Mix of asphalt and standing seam metal roofing
- Use of wood elements used for soffits in visible areas
- Use of a stone base and stone clad columns at entry
- Interesting rooflines with a steep pitch in most cases
- Trim around opening may be omitted in certain cases where the windows and doors contrast in colour to the siding
- Distinctive front porch





## 4.4 Building Form and Massing

### Front Attached Garages

- A minimum of a double front attached garage will be required on these lots. The attached garage should reflect and complement the overall massing and proportion of the home and not dominate the streetscape. Triple car garages may be approved at the discretion of the architectural coordinator and must have at least one bay of the triple garage recessed or extended out 12" from the others.
- If the third bay of the garage is fully offset from the main body of the home, special attention must be paid to the roof design and massing in order to integrate the third garage bay into the overall appearance of the home. Attached triple car garages must be a natural extension of the design, massing and materials of the main dwelling.
- In order to reduce the visual impact of front drive garages, close attention will be paid to the architectural design of the front elevation and the design of the front entry ways. When the distance from the garage to the entry porch is over 10'-0", a window is required in the garage wall. The maximum projection of any garage past a porch is 15'-0".
- The garage location is noted on the building grade plan and the subdivision marketing plan. **Builders are required to use the garage location as shown unless otherwise approved by the developer.**
- Extra wide double car garages shall not be permitted unless otherwise approved at the discretion of the architectural coordinator.

Garages will generally be paired with the neighboring homes unless noted otherwise on the subdivision marketing plan.

#### 4.4.1 Roof Design and Pitch

The roof design is important to achieving the desired look of the Architectural styles. A minimum of 6/12 roof pitch will be required on all Craftsman/Arts and Crafts homes and a minimum of 4/12 roof pitch for all Prairie style homes. Modern Farmhouse style requires a minimum of 8/12 roof slopes. Roof vents and plumbing stacks must be located away from the street view of the house where possible.

- Overhangs on all roof configurations shall be a minimum of 18" on Modern Farmhouse/Craftsman/Arts and Crafts and 24" for Prairie.





#### 4.4.2 Two Storey Front Massing

Homes that incorporate second floor living space being built flush with the front face of the garage will be permitted subject to a combination of cantilevers, roof lines, and box outs being used to break up the flat massing. Builders will be asked to extend parts of the facade past the front of the garage. The front porch massing on these homes must also be at a maximum distance of 6' from the front of the garage. Homes with living space being built flush with the front of the garage may not be repeated more often than every third home on the same side and opposite side of the street.

All elevations subject to this section will require pre-approval to ensure enhanced architectural detailing is being provided.

#### 4.4.3 Corner Lots

Corner lots that side onto a street or open space will require substantial additional treatment. The side elevation shall be well articulated with various architectural elements appropriate for the overall design of the house. Battens will be required on openings. Other elements may include box outs, rooflines or verandas that wrap around the exposed building face shall be the preferred treatment, chimneys and fully detailed windows, and shadow bands. Rear elevations on corner lots will also require upgrades to match the side and front. Materials and rooflines on the side elevations must wrap around to the rear elevations.

Furthermore, a wraparound porch or extended width porch is required, unless otherwise approved at the discretion of the architectural coordinator. When provided, a wraparound porch should return at least 3' from the foundation corner.

Lots that require this treatment: Block 42 - Lot 1.

#### 4.4.4 Front Porches

All homes shall incorporate a front porch into their designs to integrate with the streetscape and must be maximized in size and length to provide a more pedestrian friendly environment. To ensure the functionality and correct massing a minimum depth of 6' will be required for all porches. All front steps and landings are to be constructed with concrete only.

If a design is submitted that does not meet these requirements but has adequate detail and massing it may be accepted at the discretion of the Architectural Coordinator.





#### 4.4.5 Rear Elevations

All rear elevations will require some additional detailing that will include trim around openings as per Section 5.4. Large exposed flat walls will not be permitted. Designers will be required to articulate rear elevations to breakup the vertical massing. This can be achieved through the use of decks, roof lines and by stepping back the upper floor where warranted.

Rear elevations on corner lots and amenity lots will require the same level of detailing as the front elevation.

#### 4.4.6 Exterior Decks and Patios

Decks will be required on amenity lots and walkouts, and not required on standard, non-exposed lots. Supporting columns for decks on corner, amenity and walkout lots are to be architecturally detailed and must have a minimum dimension of 300mm square (12" x 12"). The cap and base of the columns must be detailed and built out. The main beam and rim joist must be clad in smartboard or an approved equivalent. The same requirements apply to stair stringers in instances where the homes back onto open space. All required decks are to be shown on the plans and built at the time of construction of the home. Deck and column requirements on remaining standard, non-exposed lots are at the builder's discretion.

#### 4.4.7 Chimneys

Chimneys must be finished to match the exterior wall material. Stone or brick finishes on chimney chases are highly recommended. On corner lots, where chimneys are provided, builders are required to bring the chimneys down to grade and are encouraged to be constructed full height chimneys that would extend past the upper floor level.



#### 4.4.8 Retaining Walls

Where retaining walls are required it is recommended that they are constructed using natural materials, i.e., sandstone boulders, rundle rock or river rock (mortar). Retaining walls not constructed from natural materials should be constructed with a visually aesthetic material, i.e., decorative concrete, or concrete with a stone or brick facing. Concrete wing walls will be acceptable when not visible from the street and require approval from the Architectural Coordinator.

Retaining walls will be limited to a height of 4 feet (1.22 metres). All retaining structures must be within property lines. Any retaining wall exceeding 1.00 metre in height MUST be approved by a professional engineer and may require a development permit.

In no instance shall a retaining wall be introduced to a lot to artificially revise the grades approved on the building grade plan unless otherwise approved by the developer.

#### 4.4.9 Columns

All porch columns must be boxed out in crezone or smartboard detailing (siding not permitted on columns) and be a minimum size of 12"x12", they should show structural integrity and have a rich level of detailing to reflect the traditional style of the home. Porch columns should return to grade wherever possible.



#### 4.4.10 Gable Treatment

All gables on front and side elevations facing a street, and rear elevations backing onto open space will require additional decorative detailing and an alternate material. Siding on its own will not be allowable on these gables. A horizontal batten separating the main wall and the gable is suggested, as shown below.





## 5. BUILDING MATERIALS AND COLOURS

### 5.1 Primary Wall Materials

#### **Standard Lots (Block 23 Lots 135-141 and Block 42 Lots 1-13)**

- Vinyl siding with a Beveled/Traditional lap profile in a premium dark colour will be the minimum requirement for all standard lots. Composite siding such as James Hardie will also be approved as an upgrade. Dutch Lap vinyl siding will not be permitted. Stucco may be approved at the discretion of the Architectural Coordinator
- Secondary wall materials may include smooth composite panels, cedar shakes and composite shakes. Vinyl shakes may be approved at the discretion of the Architectural Coordinator and must be in a straight cut profile. Other alternatives may be approved at the discretion of the Architectural Coordinator.

#### **Amenity Lots (Block 23 Lots 123-134)**

- Full composite siding is the required primary wall material for all amenity Lots. Stucco may be approved at the discretion of the Architectural Coordinator

Before submitting colours builders should review adjacent house colours to avoid repetition.

### 5.2 Exterior Colours

Approved primary siding colours can be found in Appendix A. Alternate colours not listed in Appendix A may be approved at the discretion of the Architectural Coordinator.

Vinyl siding colours must be a dark, rich hue for the primary wall material. Pastel and light shades of colour will not be permitted and may only be relaxed on Modern Farmhouse elevations. Composite siding may be approved in both dark and light prefinished colours. Custom painted composite siding colours will be approved at the discretion of the Architectural Coordinator.

It is the intent in Sunset Ridge to highlight the streetscape with interesting vibrant colour schemes. To achieve this, a secondary material will be required on the front, exposed side, and rear elevation of every home. Secondary colours must offer a striking contrast to the main body of the home, not a lighter or darker shade of the same colour.

Painted trims must be completed in a contrasting colour to the primary and secondary wall materials that provides interest to the home's detailing. This may be relaxed on Modern Farmhouse elevations.



### 5.3 Masonry

The use of masonry will be encouraged on all homes in Phase 21B and should be used in portions reflecting structural integrity. There will be no minimum amount of stone or brick required but the placement of the material must ground the home and act as a structural element. All stone or brick must wrap at least 3' around the garage return to the porch. A 2' return will otherwise be permitted on any non-exposed side elevations. In cases where the distance between the face of garage and the porch exceeds 10', masonry or alternate material on the front of the garage will be required to return along the length of the garage wall to the face of the porch or pillars. The end of the return will need to be finished with trim that sits proud. Only natural stone, manufactured stone and brick will be permitted as masonry materials.

Designs with no masonry may be accepted at the discretion of the Architectural Coordinator. These homes will require extensive detailing and trim elements to compensate for the lack of masonry detailing.

### 5.4 Trim, Fascia and Soffit

Modern trim materials used in a traditional manner will assist the homes in Sunset Ridge Phase 21B to appear traditional and timeless. Designers are asked to put a great deal of efforts into the trim detailing.

- Trim around windows and door openings will be required on the front and rear elevations of all homes, including the side elevations of corner lots. Trim detailing around all rear openings is highly encouraged for all non-exposed rear elevations. Full trim detailing on all rear openings will be required if the home is within three lots of the street corner. However, if a standard lot home is offset at least three lots from a street corner, a relaxation to the trim requirements around openings on the **main level** will be permitted. Trim material shall be Smartboard, PVC, or equivalent. Smooth finish acrylic stucco battens will also be acceptable.
- 4" minimum composite corner boards will be required on the front elevation and will also be required on elevations that are visible from open spaces or the street. Corner boards are suggested when using stucco as a wall finish, but it is not required. **Corner boards are to match the trim colour used on the home.**
- Shadow boards or cornices, if incorporated in the design, shall be used in all open gable ends where the wall meets the soffit on all front and rear elevations.
- The fascia on open gables on the front and other highly visible elevations is to be constructed with a composite material. All other fascia may be aluminum. All fascia must be a minimum of 8 inches in height.
- Rainware should be limited on exposed elevations. Downspouts should take place on side and rear elevations of homes only. Rainware should match colour of soffit and fascia used on home.





## 5.5 Windows

Window layout is key to achieving a chosen design style. Windows should be positioned in good proportion and relationship to one another on an elevation. If fenestration is not setup properly, walls can look scattered and unorganized.

- Casement, double-hung, and single-hung are appropriate window types and may be incorporated with non functional windows to create more elaborate window designs. Sliding windows in bedrooms will be acceptable.
- Skylights, if used, should be black in colour to match the roofing and should have a flat profile. Skylights should be incorporated on rear elevations and should not be visible from the street.

## 5.6 Roofing

The roof material for all homes is to be premium architectural asphalt shingles such as IKO Cambridge 30 (or equivalent), recycled rubber composite shingles, or concrete tile in the slate profile with a dark colour. Other equivalents or upgrades may be approved at the Architectural Coordinator's discretion. No wood shakes will be allowed. All roof stacks must be enclosed and/or finished to compliment the roof colour and exterior finish detail.

**Dual Black or an equivalent will be the approved roofing colour when asphalt shingles are used.**

Rainwater leaders and soffits shall match or compliment the approved trim colour.

## 5.7 Roof Hardware

All roof hardware (vents, stacks, flashing, etc.) must be prefinished or painted to match the colour of the roofing material. **Unfinished galvanized flashing will not be permitted.**





## 5.8 Front Doors

- Front entry doors are to compliment the architectural style of the home.
- Entry doors are to have glazing and/or sidelights and/or transom windows.
- Single or double front entry doors are allowed. Double front entry doors will be approved at the discretion of the Design Coordinator. Sliding patio doors shall not be located on front elevations.



## 5.9 Garage Doors

- The minimum specification for garage doors will be the Gallery Collection from Clopay doors or equivalent.
- Are not to exceed 8 feet in height and 20 feet in width unless approved by the Architectural Coordinator.
- White garage doors will not be approved unless the trim colour on the home is approved as white.
- Additional space above the garage door to eaves line (more than 24 inches) will have to be justified and treated with an architectural feature.
- To further enhance the front facade of the homes, it is recommended that all garage doors include glazing panels in a design that suits the home's exterior and the garage door style. **Glazing panels will be required on all doors on amenity lots and those that exceed 7' in height.** They will also be required on all homes that do not include masonry.

Garage Doors must be painted to match the main or secondary wall colour and trims are to be painted to match the main trim colour of the home. Doors that are painted a wood colour may be approved at the discretion of the Architectural Coordinator.





## 5.10 Railings

Acceptable railing materials include:

- Wrought iron/aluminum
- Glass panel (rear only)
- Wood railing in a decorative design may be approved on front verandas only and must compliment the architectural style of the home.

## 5.11 Driveways and Sidewalks

### **Amenity Lots - Block 23 Lots 123-134**

Exposed aggregate driveways will be the minimum requirement on all amenity lots. Broom finished concrete driveways will also be permitted on amenity lots provided any of the following details are added:

- Full coloured concrete, or coloured concrete boarders
- Concrete blocks, pavers or stamped concrete boarders
- Other decorative as proposed (must be approved by the Architectural Coordinator)

### **Standard Lots - Block 23 Lots 135-141 and Block 42 Lots 1-13**

Broom finished concrete driveways will be the minimum requirement for all standard lots in Sunset Ridge Phase 21B. However, builders are encouraged to use an upgraded driveway finish, such as the following options:

- Exposed aggregate
- Full coloured concrete, or coloured concrete boarders
- Concrete blocks, pavers or stamped concrete boarders
- Other decorative as proposed (must be approved by the Architectural Coordinator)
- All driveways are to have a joint 2.4 metres from the back of curb. This will reduce damage to driveways as a result of water valve maintenance.
- The width of all front driveways shall not exceed the width of the garage face. In no instance shall front yard landscaping be removed and replaced with hard surface such as poured concrete, paving stones, asphalt, concrete blocks, decorative concrete, etc. The approved plot plan showing the extent and dimension of the front driveway shall remain valid and in force in perpetuity unless otherwise authorized by the Developer.
- Sidewalks must be a minimum of 3' in width.
- Sidewalks are to be broom finished concrete, as a minimum. When exposed aggregate driveways are used, the sidewalk must also be exposed aggregate to match.



## 5.12 Front Steps

Pre-cast concrete porches and steps will be required on all home in Phase 21B. Exposed aggregate porches and steps will be required when aggregate walkways and driveways are installed.

## 5.13 Parging

A maximum of 16" parging will be permitted on side and rear elevations measured from final grade to the underside of the wall finishing material. On sloping lots, siding will have to be dropped accordingly and applied to the foundation walls of the home. A maximum of 8" of parging will be permitted on front and exposed elevations.

## 5.14 Lighting

Pot lights or light fixtures with a traditional look are encouraged for the front entry. All light fixtures shall complement the architectural style of the home. Flood lights will not be permitted. All light fixtures shall be fully shielded and oriented to direct all light below the horizon.



## 6. ADDITIONAL REQUIREMENTS

Nothing herein contained shall be construed or implied as imposing on the Developer, its agents or employees, any liability in the event of non-compliance with or non-fulfillment of any of the terms, restrictions and benefits set forth herein and no liability or responsibility whatsoever shall be incurred by the Developer, its agents or employees, in the performance or non-performance of their rights and obligations herein.

### 6.1 Recreation and Commercial Vehicles

Recreational vehicles and commercial vehicles shall not be parked in front or exposed corner of a home for any reason other than loading and unloading. When RV's are parked on site they must be parked on the side of the home and be properly screened from the street. Wood screen fence is an acceptable screening mechanism, but may only be used alongside the house. RV parking will not be permitted within any yard exposed to the street.

### 6.2 Satellite Dishes

Satellite dishes are allowed provided the dish size does not exceed twenty-four (24") inches in diameter and the location of the dish is concealed to minimize visual impact.

### 6.3 Solar Panels

Solar panels are permitted, and their use in Sunset Ridge Phase 21B is encouraged by the developer. Please contact the developer for information on builder incentives or rebates for solar panel use within the development. All solar panel systems are to be submitted to the Architectural Coordinator for review. Solar panels are to be installed on roof surfaces only, and the locations of all proposed solar panels are required to be shown on the house elevations. Panels are to be black to match the roofing colour, and must be flat in profile. Other types of solar power systems may be approved, but will be subject to the review and approval by the Architectural Coordinator.



## 7. LANDSCAPING

### 7.1 Fencing

#### Rear Yard Fencing

**Block 23 Lots 123 through 141** - A 1.20m Black Metal rear yard fence will be installed by the Developer. A copy of the specifications can be found in Appendix B.

**Block 42 Lots 1 through 5** - A 1.80m wood screen rear yard fence will be installed by the developer. A copy of the specifications can be found in Appendix B.

**Block 42 Lots 6 through 13** - Rear yard fencing will be optional and is to be installed by the Homeowner. This fence is to be a 1.80m wood screen fence as shown in Appendix B.

#### Side Yard Fencing

All side yard fencing shall be optional and is to be installed by the homeowner. The following side yard fence types will be permitted.

**Block 23 Lots 123 through 141** - A 1.20m Black Metal side yard fence or a 1.20m Black Chain Link side yard fence, as shown in Appendix B, is required.

However, a 1.80m wood screen side yard fence as shown in Appendix B will be permitted with exception of the last 4.88 metres (16 feet) of the fence that connects to a Developer rear yard fence, which must be a 1.20 Black Metal fence or a 1.20m Black Chain Link fence as shown in Appendix B.

**Block 42 Lots 1 through 13** - Side yard fencing is to be a 1.80m wood screen fence as shown in Appendix B.

All fencing shall conform to the Town of Cochrane Land Use Bylaw. See Appendix B for fencing specifications.

**Alternative fence styles may be acceptable but must be approved by the Developer or the Homeowners Association.**

### 7.2 Front Yard Landscaping

The front yard landscaping must be completed within four months of the completion of the home but is subject to seasonal constraints.

### 7.3 Fire Pits and Outdoor Fireplaces

Fire pits and outdoor fireplaces will be permitted in the rear yard only and are to follow the Town of Cochrane Bylaws.





## 8. APPROVAL PROCESS

### 8.1 Preliminary Review

To achieve the desired traditional look in Sunset Ridge, designers are encouraged to create preliminary renderings or sketches of home plans and elevations to the Architectural Coordinator for preliminary review to ensure that they are on the right track.

### 8.2 Formal Application Submission

Builders will have to submit their plans to the Architectural Coordinator for architectural review and confirmation of compliance with these Architectural Guidelines before they will be permitted to apply to the Town of Cochrane for a building permit. The design coordinator will require the following information submitted via [www.archcontrol.com](http://www.archcontrol.com):

- Exterior colours including trim, siding and stone.
- Plot Plan (1:200 scale) showing the following:
  - Lot size
  - Building envelope
  - Setbacks
  - Lot coverage
  - Easement and utility rights of way
  - Property and house corner grades
- Construction Drawings (1/4"=1'; 3/16"=1')

**Builders must ensure all customer names are removed from their drawings before Architectural Submission.**

### 8.3 Final Inspection

At the completion of the exterior of the home, the builder is to request in writing a final inspection from the Architectural Coordinator to ensure that the home is in compliance with the design guidelines and the approved home plans.

### 8.4 Schedule of Applicable Fees

The fee for first Architectural Approval and Pre Approval will be paid by the Developer.

Any changes after the initial submission will be billed to the builder at the following unit costs:

- Change Requests.....\$200.00 /change
- Secondary Architectural Approval.....\$ 600.00
- Fee for consultation:
  - Senior AT.....\$ 200.00
  - Intermediate AT.....\$ 120.00



## 9. CONSTRUCTION REGULATIONS

### 9.1 Material and Equipment Storage

- Builders will be allowed to store their materials and equipment on site during construction but may not store on any other home sites.
- Items stored will have to be stored in an organized and covered manor to ensure site cleanliness.
- Builders must ensure that they do not trespass or disturb any other properties.
- Cleaning of paint, solvents, stains, etc will not be permitted on site.
- Concrete trucks may not clean chutes anywhere on site.
- Storage will not be permitted on any road or sidewalk.

### 9.2 Use of Site

- Construction debris and waste must be contained on site each day and removed at the end of the project.
- Debris may not be burned, dumped, or buried anywhere on site at any time.
- Site damage (curbs, site furniture, sidewalks, roadways, vegetation) will be the charged to the builder.
- Should a site not be maintained as these guidelines document, the developer reserves the right to rectify any deficiencies at the cost of the builder.

### 9.3 Vehicles and Parking

Utility trailers, etc. may be parked on site for the time of construction only, at the risk of the builder.

### 9.4 Other Notes

- Vegetation material, top soil, or similar materials may not be dumped on site at any time.
- Changing oil on any equipment or vehicles is not permitted on site.
- Alcohol and drugs are prohibited at all times on site.
- Erosion control will be the responsibility of the builder during construction.
- Builders are to ensure that sites are not access except via the provided entries.



## 10. DISCRETION

Notwithstanding anything else set out in these guidelines, the Developer, Sunset Properties Inc. and the Architectural Coordinator may apply their respective judgements when considering and approving anything regulated or controlled by these guidelines. In so doing, the Developer and the Architectural Coordinator may provide waivers of or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

The Developer and the Architectural Coordinator reserve the right to accept home designs which, in the opinion of the Architectural Coordinator, meet the Guidelines set out herein in all respects. Furthermore, the Developer and the Architectural Coordinator reserve the right to alter or make amendments to the Architectural Guidelines at any time without notice.

### 10.1 No Right to Enforce

Only the Developer or the Architectural Committee may enforce the guidelines, no purchaser of a lot in Sunset Ridge may enforce these guidelines.

To the extent the Developer or the Architectural Committee incurs costs, including legal costs, disbursements, or expenses in enforcing these Guidelines, the Developer or the Architectural Committee, as the case may be, and such costs, including legal costs on a solicitor and own client basis, disbursements or expenses shall become a debt payable by the Owner of the Lot in question and such debt shall be registrable as a charge against the Lot to run with the Lot and binding on the owners from time to time.

### 10.2 Right to Amend

The Architectural Committee may from time to time amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

### 10.3 No Trespassing

No person shall infringe upon, excavate on, destroy, paint, fill in, cut, remove or tamper with any lot in Sunset Ridge that is not their own. If done so the Architectural Committee has full right to take legal action for relief of any violation.



## 11. CONTACTS

### Architectural Coordinator

ARCADIS  
3rd Floor - 227 11 Avenue SW  
Calgary, Alberta T2R 1R9  
Tel: 403.270.5600  
Fax: 403.270.5610

### Engineering Consultant

Pasquini & Associates Consulting Ltd.  
200 - 6025 12th Street SE  
Calgary, Alberta T2H 2K1  
Tel: 403.452.7677  
Fax: 403.452.7660

### Developer

Sunset Properties Inc.  
c/o Melcor Developments Ltd.  
210, 101-6 Street SW  
Calgary, Alberta T2P 5K7  
Tel: 403.270.1287  
Fax: 403.270.0538

### Architectural Committee

The Developer until otherwise established.



# APPENDIX A

## APPROVED SIDING COLOURS



## Approved Vinyl Siding Colours

### **Gentek - Sequoia**

Venetian Red  
Dark Drift  
Saddle Brown  
Espresso  
Mountain Arbor  
Moonlit Moss  
Coastal Blue  
Midnight Surf  
Windswept smoke  
Iron Ore  
Majestic Brick  
Rockport Brown  
Smoked Timber  
Meadow Fern  
Rockwell Blue  
Marine Dusk  
Hudson Slate

### **Royal – Colourscapes**

Redwood  
Natural Cedar  
Shamrock  
Midnight Surf  
Granite  
Heritage Blue  
Ironstone  
Cocoa  
Wedgewood  
Urban Bronze  
Marine Blue  
Weathered Gray  
Riverway

### **Mitten - Sentry (ACT)**

Timber Bark  
Lighthouse Red  
Sapphire Blue  
Eggplant  
Annapolis Blue  
Richmond Red  
Coffee Bean  
Gunmetal Grey  
Regatta Blue  
Khaki Brown  
Rockaway Grey  
Muskoka Green  
Caribou Brown  
Chestnut Brown  
Yukon Grey  
Huron Blue

### **Kaycan - DaVinci**

Pecan  
Mahogany  
Colonial Red  
Evergreen  
Cabot Brown  
Cabot Blue  
Cabot Red  
Castlemore  
Manor  
Nordic Blue  
Cobalt

### **Kaycan - Verona**

Boulder Gray  
Java Brown  
Tundra  
Urban Blue

White siding will be permitted on Farmhouse elevations only. Alternate lighter colours may be reviewed by the A/C Coordinator and approved on a case by case basis.





## Approved Composite Siding Colours

### **James Hardie Siding**

Arctic White  
Light Mist  
Pearl Gray  
Cobblestone  
Navajo Beige  
Monterey Taupe  
Khaki Brown  
Timberbark  
Countrylane Red  
Rich Espresso  
Gray Slate  
Night Gray  
Boothbay Blue  
Evening Blue  
Aged Pewter  
Iron Gray  
Deep Ocean  
Mountain Sage

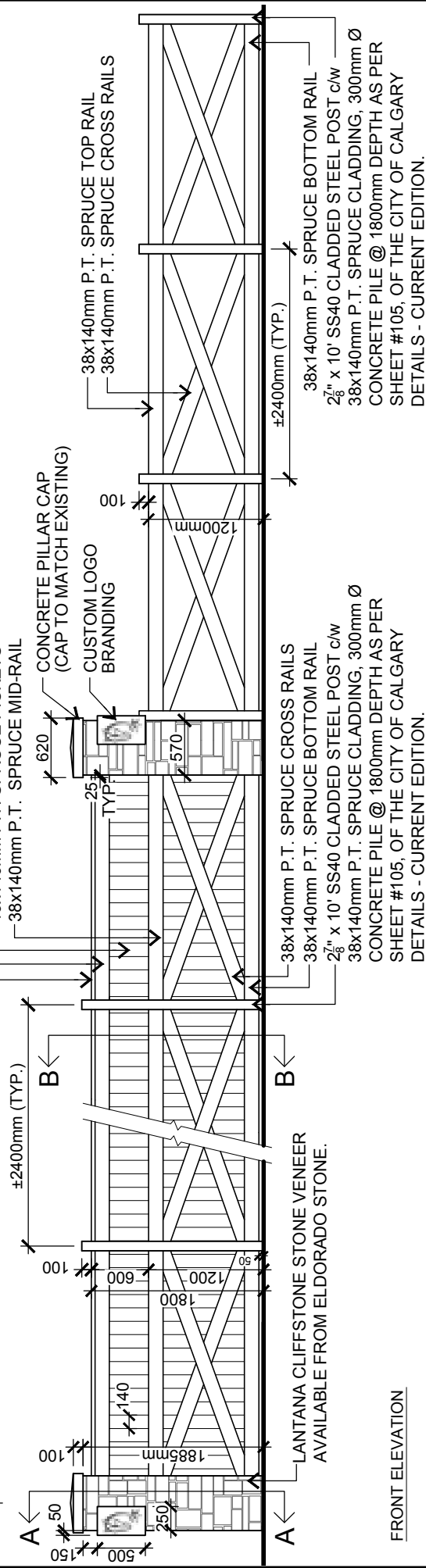
Note: Additional Siding colors may be permitted at the discretion of the Architectural Coordinator and the Developer



# APPENDIX B

## FENCING

±15m TYPICAL SPACING



FRONT ELEVATION

PAINT SPECIFICATION:

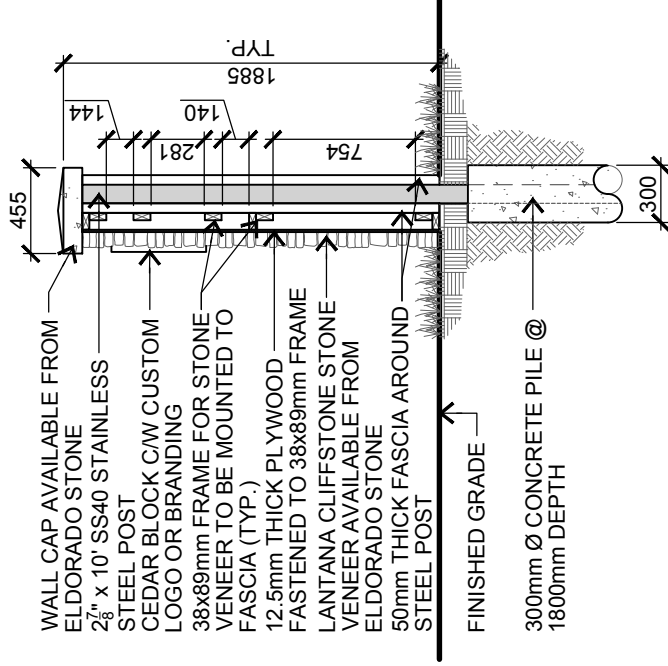
NAME: 'SUNSET RIDGE'  
'D FLOYD BEIGE GREY' - 1 GALLON FORMULA  
EXTERIOR HYBRID SOLID STAIN FLAT

|              |    |    |    |     |
|--------------|----|----|----|-----|
| CCE*COLORANT | 02 | 32 | 64 | 128 |
| B1-BLACK     | -  | 29 | 1  | -   |
| R2-MAROON    | -  | 11 | -  | 1   |
| Y3-DEEP GOLD | 2  | 24 | 1  | 1   |

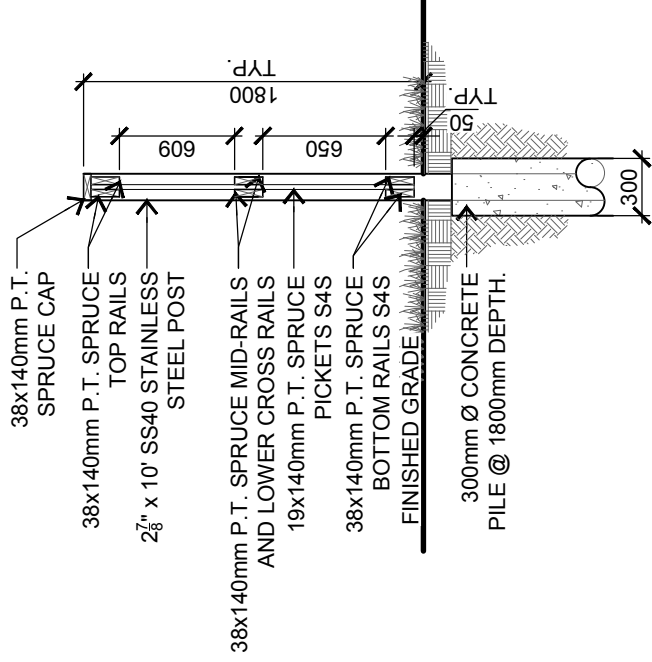
AVAILABLE FROM SHERWIN-WILLIAMS.  
SCAN 0027163-003.

NOTES:

- ALL SPRUCE TO BE PRESSURE TREATED.
- ALL CONCRETE USED FOR PILE CONSTRUCTION IS TO BE LEFT 150mm BELOW FINISHED GRADE TO ALLOW FOR FINISH GRADE LANDSCAPING.



SECTION 'A' - BOXED OUT PILLAR

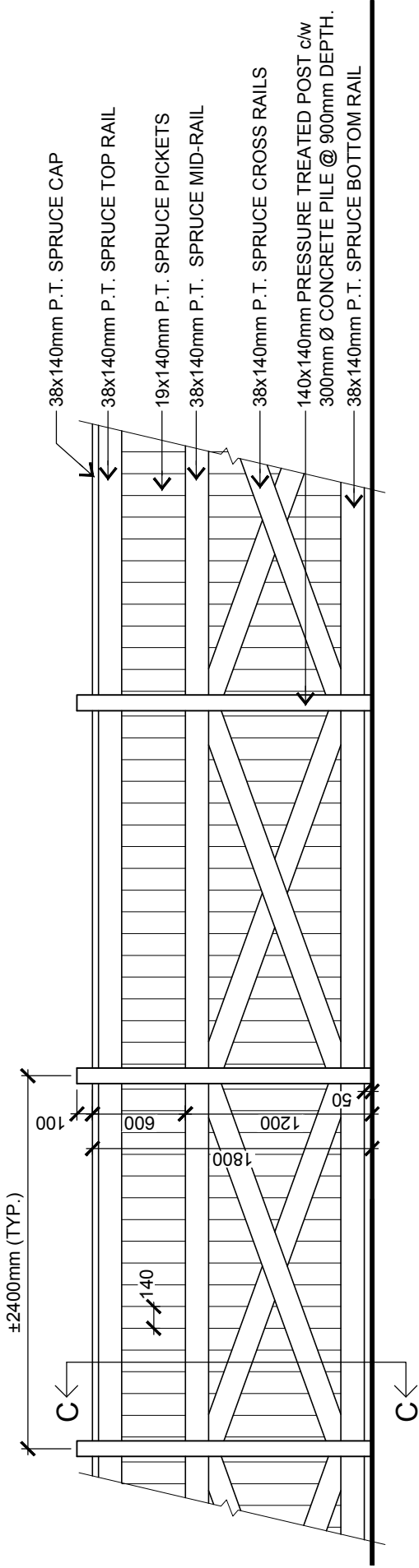


SECTION 'B' - WOOD FENCE (METAL POST)

SUNSET RIDGE SIDE YARD FLANKAGE WOOD SCREEN FENCE

SCALE: 1 : 40

NOVEMBER 2016



FRONT ELEVATION

PAINT SPECIFICATION:

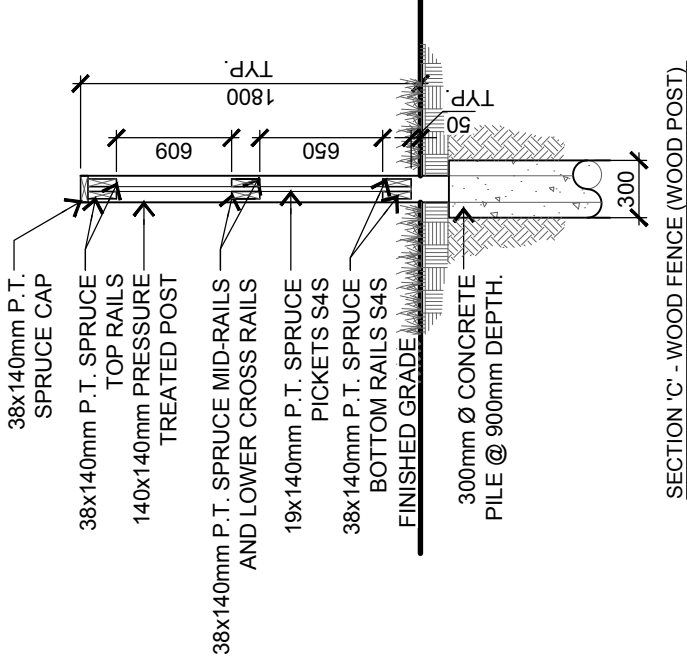
NAME: 'SUNSET RIDGE'  
'D FLOYD BEIGE GREY' - 1 GALLON FORMULA  
EXTERIOR HYBRID SOLID STAIN FLAT

|              |    |    |    |     |
|--------------|----|----|----|-----|
| CCE*COLORANT | 02 | 32 | 64 | 128 |
| B1-BLACK     | -  | 29 | 1  | -   |
| R2-MAROON    | -  | 11 | -  | 1   |
| Y3-DEEP GOLD | 2  | 24 | 1  | 1   |

AVAILABLE FROM SHERWIN-WILLIAMS.  
SCAN 0027163-003.

NOTES:

- ALL SPRUCE TO BE PRESSURE TREATED.
- ALL CONCRETE USED FOR PILE CONSTRUCTION IS TO BE LEFT 150mm BELOW FINISHED GRADE TO ALLOW FOR FINISH GRADE LANDSCAPING.

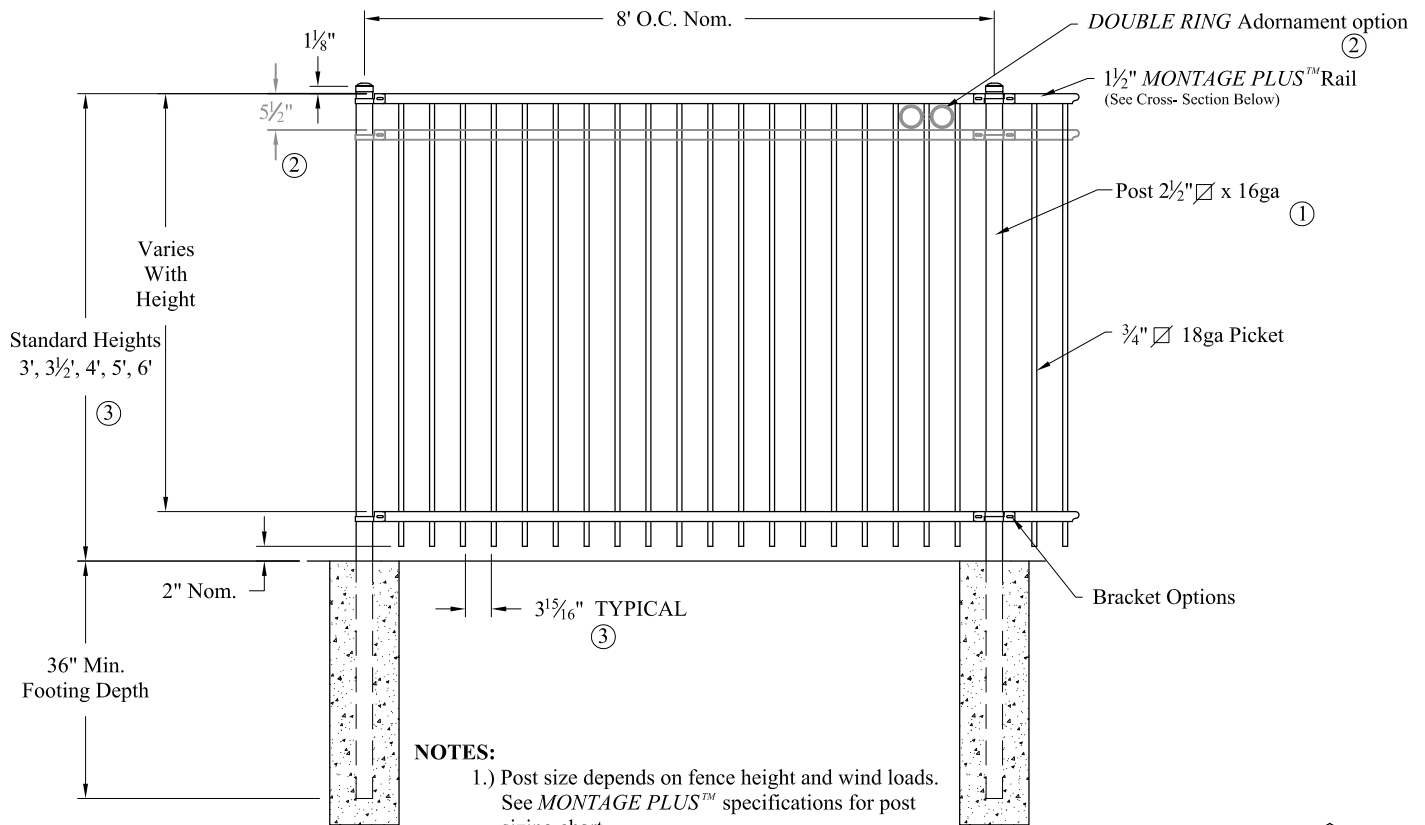


SECTION 'C' - WOOD FENCE (WOOD POST)

SUNSET RIDGE WOOD SCREEN FENCE

SCALE: 1 : 40

NOVEMBER 2016

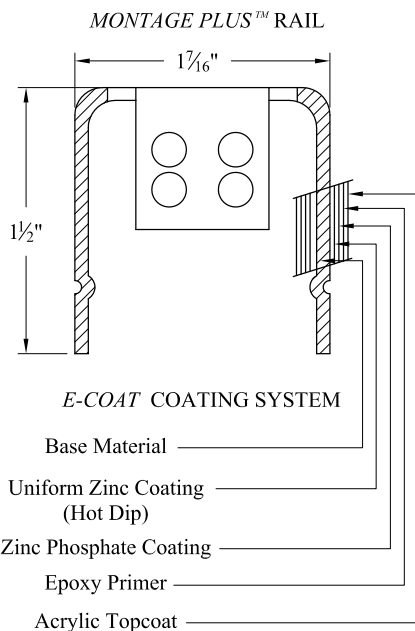


**NOTES:**

- 1.) Post size depends on fence height and wind loads. See *MONTAGE PLUS™* specifications for post sizing chart.
- 2.) Third rail required for *Double Rings*.
- 3.) Available in 3" air space and/or Flush Bottom on most heights.

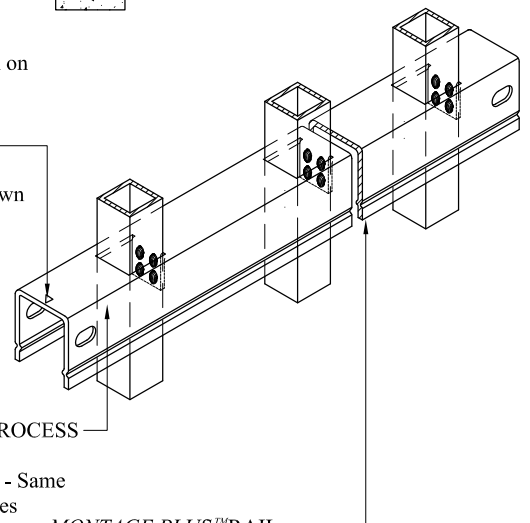
**RAKING DIRECTIONAL ARROW**

Welded panel can be raked 30" over 8' with arrow pointing down grade.

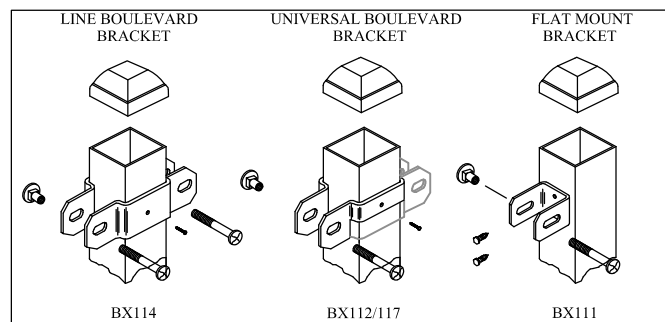


**PROFUSION™ WELDING PROCESS**

No exposed welds,  
Good Neighbor profile - Same  
appearance on both sides



**MONTAGE PLUS™ RAIL**  
Specially formed high strength  
architectural shape.



**COMMERCIAL STRENGTH WELDED STEEL PANEL  
PRE-ASSEMBLED**

Title: **MONTAGE PLUS MAJESTIC 2/3-RAIL**

DR: CI SH . 1 of 1 SCALE: DO NOT SCALE

CK: ME Date 6/28/10 REV: e



**AMERISTAR®**

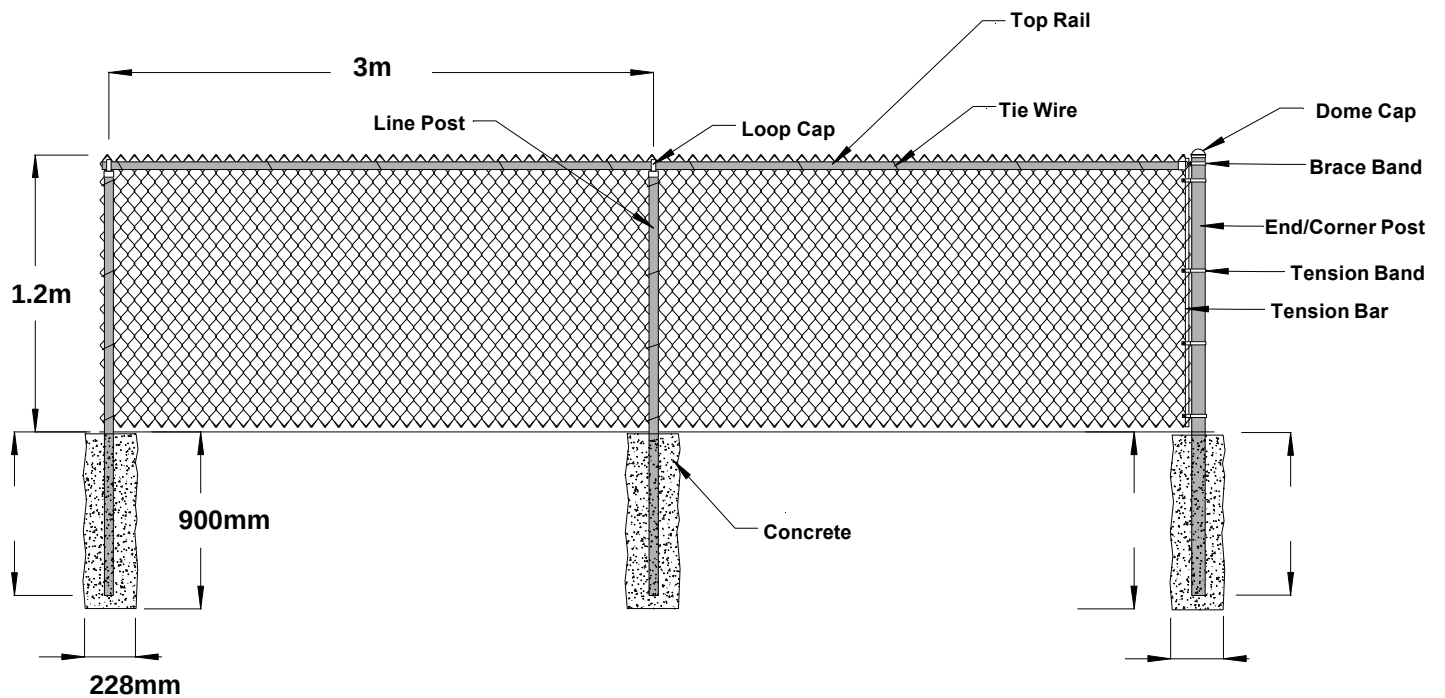
1555 N. Mingo  
Tulsa, OK 74116  
1-888-333-3422  
www.ameristarfence.com

Values shown are nominal and not to be used for  
installation purposes. See product specification  
for installation requirements.

1RMISO

# Black Chain Link Fence Detail

## 4' Chain Link with Toprail



D. Floyd Construction  
floydco.ca  
Office 403-201-8317



|                |                        |
|----------------|------------------------|
| Project:       |                        |
| Site Location: | Date:                  |
| Submitted by:  | Drawing # <b>CL-01</b> |



# APPENDIX C

## LAND USE BYLAW

(Excerpted from the Town of Cochrane - BYLAW 01/2022  
(Consolidated Version))





## 2.2 Residential Low Density District (R-LD)

### 2.2.1 Purpose

The purpose of this District is to provide for traditional residential Development in the form of Single Detached Dwellings and other compatible Uses. Consideration for Accessory Suite Development provides intensification opportunities in this District.

### 2.2.2 Uses

TABLE 4. (R-LD) Uses

| PERMITTED USES            | DISCRETIONARY USES        |
|---------------------------|---------------------------|
| Day Home                  | Bed and Breakfast         |
| Dwelling, Single Detached | Child Care Services       |
| Home Occupation- Class 1  | Dwelling, Secondary Suite |
|                           | Dwelling, Backyard Suite  |
|                           | Home Occupation- Class 2  |
|                           | DISCRETIONARY USES- CPC   |
|                           | Community Facility        |

### 2.2.3 Figure





## 2.2.4

## Standards

| TABLE 5.                                    |                                                                | (R-LD) Minimum Standards |            |           |                  |           |                           |                        |
|---------------------------------------------|----------------------------------------------------------------|--------------------------|------------|-----------|------------------|-----------|---------------------------|------------------------|
|                                             | A                                                              | B                        | C          | D         | E                | F         | G                         |                        |
| LAND USE                                    | LOT AREA                                                       | LOT WIDTH                | FRONT YARD | SIDE YARD | CORNER SIDE YARD | REAR YARD | BUILDING HEIGHT (MAXIMUM) | LOT COVERAGE (MAXIMUM) |
| Single Detached Dwelling                    | 270.0m <sup>2</sup>                                            | 9.0m                     | 3.0m       | 1.2m      | 3.0m             | 6.0m      | 12.0m                     | 55%                    |
| All Other Uses                              | At the discretion of the <a href="#">Development Authority</a> |                          |            |           |                  |           |                           |                        |
| MAXIMUM NUMBER OF DWELLING UNITS PER PARCEL |                                                                |                          |            |           |                  |           |                           |                        |
| Principal Dwelling                          | 1                                                              |                          |            |           |                  |           |                           |                        |
| Accessory Suite                             | 1                                                              |                          |            |           |                  |           |                           |                        |